



ACTIVITY DETERMINATION

Project No. BGYF2

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Acting Chief Executive Officer, Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Acting Chief Executive Officer, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed.....

Name..... Emma Nicholson

Dated..... 1 November 2023

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No.

17-21

Street or property name

Kimberley Street

Suburb, town or locality

Merrylands, NSW

Postcode

2160

Local Government Area(s)

Cumberland

Real property description (Lot and DP)

Lots 206, 207 and 208 in DP 926

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of existing dwelling and structures (19 Kimberley Street), removal of trees, and the construction of 16 independent seniors living units comprising 8 x 1 bedroom and 8 x 2 bedroom units, at grade parking for 8 cars and associated landscaping and fencing, and consolidation of three lots into a single lot.

¹ Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed..........

Dated..... 1 November 2023

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation

SCHEDULE 1

Recommended Identified Requirements

PART A – Standard Identified Requirements

THE DEVELOPMENT

The following Identified Requirements are to ensure that the **seniors housing** activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021

1. The development shall be carried out substantially in accordance with the following plans / documents and as modified below by any of the undermentioned identified requirements:

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Architectural – Appendix A				
Coversheet	DA00	Rev E	18.04.2023	Brewster Murray Pty Ltd
Block Analysis	DA01	Rev E	18.04.2023	Brewster Murray Pty Ltd
Site Analysis	DA02	Rev E	18.04.2023	Brewster Murray Pty Ltd
Demolition Plan	DA03	Rev E	18.04.2023	Brewster Murray Pty Ltd
Site Plan	DA04	Rev E	18.04.2023	Brewster Murray Pty Ltd
Ground Floor	DA05	Rev E	18.04.2023	Brewster Murray Pty Ltd
First Floor	DA06	Rev E	18.04.2023	Brewster Murray Pty Ltd
Roof Plan	DA07	Rev E	18.04.2023	Brewster Murray Pty Ltd
Elevations 1	DA08	Rev E	18.04.2023	Brewster Murray Pty Ltd
Elevations 2	DA09	Rev E	18.04.2023	Brewster Murray Pty Ltd
Sections	DA10	Rev E	18.04.2023	Brewster Murray Pty Ltd
Section 2 – Retaining Walls	DA11	Rev E	18.04.2023	Brewster Murray Pty Ltd
Cut and Fill Plan	DA12	Rev E	18.04.2023	Brewster Murray Pty Ltd
Shadow Diagram	DA13	Rev E	18.04.2023	Brewster Murray Pty Ltd
View From Sun Diagram	DA14	Rev E	18.04.2023	Brewster Murray Pty Ltd
Materials and Finishes	DA15	Rev E	18.04.2023	Brewster Murray Pty Ltd
Lot Consolidation Plan	DA16	Rev A	27.03.2023	Brewster Murray Pty Ltd
Landscape Plan – Appendix B				
Landscape Plan	1 of 2	Rev E	24.04.2023	Greenland Design Pty Ltd

Activity Determination –
17-21 Kimberley Street, Merrylands, NSW 2160

Landscape Details and Specification	2 of 2	Rev E	24.04.2023	Greenland Design Pty Ltd
Civil Plans – Appendix C				
Notes and Legends	C01	6	19.04.2023	Greenview Consulting Pty Ltd
Ground Floor Drainage Plan	C02	6	19.04.2023	Greenview Consulting Pty Ltd
Site Stormwater Details Sheet	C03	6	19.04.2023	Greenview Consulting Pty Ltd
Road Frontage Plan	C11	2	19.04.2023	Greenview Consulting Pty Ltd
Survey – Appendix D				
Detail and Level Survey Lot 206, 207, 208 in DP 926	1 of 1	-	11.05.2022	S.J Surveying Services Pty Ltd
Survey Footpath Long Section – Appendix T	1 of 1	-	08.11.2021	S.J Surveying Services Pty Ltd
BASIX – Appendix K				
BASIX	BASIX Certificate No 1327670M	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Summary Certificate	Certificate No 0008499640	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 1	Certificate No 0008499600	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 2	Certificate No 0008499592	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 3	Certificate No 0008499584	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 4	Certificate No 0008499576	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 5	Certificate No 0008499535	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 6	Certificate No 0008499568	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 7	Certificate No 0008499550	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 8	Certificate No 0008499543	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 9	Certificate No 0008499527	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 10	Certificate No. 0008499626	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 11	Certificate No 0008499485	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 12	Certificate No 0008499493	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 13	Certificate No 0008499501	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 14	Certificate No 0008499477	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 15	Certificate No 0008499469	-	14.03.2023	Greenview Consulting Pty Ltd
NatHERS Certificate Unit 16	Certificate No 0008499451	-	14.03.2023	Greenview Consulting Pty Ltd
Environmental Site Management Plan – Appendix U				
Notes and Legends	ESM1	3	14.03.2023	Greenview Consulting Pty Ltd
Environmental Site Management Plan	ESM2	4	05.04.2023	Greenview Consulting Pty Ltd

Specialist Reports				
Arboricultural Impact Appraisal and Method Statement – Appendix J	-	A	02.05.2023	Naturally Trees
Acoustic Report – Appendix S	23-2854-R1	-	May 2023	Revers Acoustics
Access Report - Appendix H	21527_ADR_DA_v1.3	1.3	02.05.2023	ABE Consulting Pty Ltd
BCA Report – Appendix L	023-219796	R04	02.05.2023	Philip Chun Building Compliance
Geotechnical Investigation and Acid Sulfate Soil Assessment - Appendix P	21/29675	-	November 2021	STS Geotechnics Pty Ltd
Waste Management Plan – Appendix R	BGFY2	2	15.03.2023	Brewster Murray Pty Ltd
Traffic and Parking Impacts Report- Appendix V	T21355	5	21.04.2023	Genesis Traffic

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work are to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of the Council for the area substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. Concrete vehicular crossings and laybacks shall be provided at the entrances/exits to the property. The crossings and laybacks shall be constructed in accordance with the Cumberland City Council's standard requirements for residential crossings. Council shall be provided with plans for the crossings and laybacks together with the payment of any council inspection fees.

11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the laybacks/driveways shall be borne by the Land & Housing Corporation. Obsolete gutter laybacks shall be constructed as kerb in accordance with the council's standards.

Note: It is recommended that discussions be held with the relevant authorities before construction works commence.

12. Car parking spaces and driveways shall be constructed of concrete or other approved hard surface materials. The car parking spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works and until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design any retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, and if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must be:
 - i. connected to a permanent 240V power supply; and
 - ii. provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved landscape plans and maintained for a period of 12 months by the building contractor. The Cumberland City Council shall be consulted in relation to the planting of any street trees.

19. All scheduled plant stock shall be pre-ordered prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved landscape plan and Arboricultural Impact Appraisal and Method Statement and no other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities shall be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the building contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following identified requirements are to be complied with prior to any work commencing on the site.

Service Authority Clearances

24. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider (e.g. Sydney Water), confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

25. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
26. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
27. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier certifying that satisfactory arrangements have been made for the provision of underground gas services, to the site and to each dwelling, shall be obtained prior to work commencing.

Utilities Service Provider Notification

28. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note:

If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Disconnection of Services

29. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
30. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Demolition

31. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of 2 days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.
32. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
33. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

Note:

Any buildings constructed before 1987 is assumed to contain asbestos.

Stormwater Disposal

34. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements and/or the Cumberland City Council's drainage code.
35. The stormwater works within the Kimberley Street road reserve must be designed in accordance with the approved civil plans, except where amended to comply with Cumberland City Council's relevant stormwater and drainage policies.

Council Notification

36. The Cumberland City Council shall be advised by the building contractor in writing, of the date it is intended to commence work, including demolition. A minimum period of 5 working days notification shall be given.

Landfill

37. Where site filling is required, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Laboratory.
38. Land fill materials must satisfy the following requirements shall be:
 - i. Virgin Excavated Natural Matter (VENM);
 - ii. free of slag and hazardous, contaminated, putrescible, toxic or radio-active matter; and
 - iii. free of industrial waste and building debris.

Site Facilities

39. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons, or part thereof, employed at the site. Each toilet shall be a standard flushing toilet and shall be connected to a public sewer. If connection to a public sewer is not practicable, to an accredited sewerage management facility provided by the council for the area or if this is also not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not be placed on any property other than that to which this activity relates.
40. Access to the site shall only be provided via an all weather driveway on the property and shall not be provided from any other site.

Site Safety

41. A sign shall be erected in a prominent position on the site:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and the telephone number on which that person may be contacted during and outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

42. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

Note:

Approval from the relevant roads authority may be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

43. No building and demolition materials are to be stored on the footpath or roadway.

Protection of Trees

44. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Impact Assessment Appraisal and Method Statement.

Waste Management

45. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

DURING DEMOLITION / CONSTRUCTION

The following Identified Requirements are to be complied with whilst works are occurring on the site.

Heritage

46. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical or Indigenous items have been uncovered, the Department of Planning and Environment must be contacted.
47. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without prior approval.

Demolition

48. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
49. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.
50. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) that has a current SafeWork NSW accreditation in asbestos removal.
51. Removal of asbestos-based thermal, or acoustic insulation such as sprayed asbestos and asbestos-based lagging and including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2nd Edition [NOHSC:2002 (2005)].
52. Hazardous and intractable waste, including all asbestos laden waste arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW.
53. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
54. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
55. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
56. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

Survey Reports

57. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Demolition / Construction / Civil Work

58. Demolition / construction / Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

59. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

60. Any noise generated during the carrying out of the activity shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines published by the former Department of Environment and Climate Change.
61. No fires shall be lit, or waste materials burnt, on the site.
62. No washing of concrete forms or trucks shall occur on the site.
63. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to the appropriate regulatory authorities to minimise any potential damage to the environment.
64. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
65. All vehicles transporting loose materials and travelling on public roads shall be secured (ie closed tail gate and covered) to minimise dust generation.
66. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

67. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
68. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following Identified Requirements are to be complied with prior to the occupation of the development.

General

69. The occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

Termite Protection

70. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection;
- (b) the date of installation of the system;
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label; and
- (d) the need to maintain and inspect the system on a regular basis.

Council Infrastructure Damage

71. The cost of repairing any damage caused to the Cumberland City Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

72. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with the Cumberland City Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and Cumberland City Council.

PART B – Additional Identified Requirements

Specific Requirements for Seniors Housing

73. The independent living units shall comply with the accessibility and useability standards referenced in section 85 and set out in Schedule 4 of State Environmental Planning Policy (Housing) 2021.

Note:

This requirement does not apply to the provisions set out under sections 2, 7-13 and 15-20 of Schedule 4 for an independent living unit, or part of such a unit, that is located above the ground floor.

74. Only the following kinds of people shall be accommodated in the approved development:
- (a) seniors or people who have a disability; or
 - (b) people who live within the same household with seniors or people who have a disability; or
 - (c) staff employed to assist in the administration and provision of services to the seniors housing development.

Note:

It should be noted that 'seniors', as defined in the Housing SEPP, are any of the following:

- (a) people aged 60 or more years,
- (b) people who are resident at a facility at which residential care (within the meaning of the Aged Care Act 1997 of the Commonwealth) is provided, and
- (c) people who have been assessed as being eligible to occupy housing for aged persons provided by a social housing provider.

A restriction as to user shall be registered against the title of the property, prior to occupation, in accordance with Section 88E of the Conveyancing Act 1919 limiting the use of any accommodation to the kinds of people referred to above and that the dwellings cannot be subdivided.

- 75. Pathway lighting shall be designed to provide a minimum of 20 lux at ground level and be located to avoid glare for pedestrians and adjacent dwellings.
- 76. Access to, and within, the site shall be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the activity.
- 77. A 1.2m wide concrete footpath across the site frontage shall be constructed in accordance with the Cumberland City Council's specifications to provide an accessible pathway from the site to the nearest bus stops.

Note:

The responsible officer in the Council for the area shall be contacted regarding Council's specifications and any necessary approvals.

- 78. Entry doors to units shall be provided with door viewers to enable residents to view approaches to their units without the need to open the door.

Site Specific Requirements

- 79. During construction, should the subsurface conditions vary from those inferred in the Geotechnical Investigation, STS Geotechnics Pty Ltd are to be contacted to determine if any changes should be made to recommendations.
- 80. The exposed bearing surfaces for footings should be inspected by a geotechnical engineer to ensure allowable pressure has been achieved.
- 81. Where required, a partial footpath and/or kerb ramps and crossing shall be provided on the northern side of Kimberley Street to allow users to cross to the existing footpath on the southern side of Kimberley Street, subject to Council requirements.
- 82. The condition of the footpath on the southern side of Kimberley Street is to be assessed by the contractors at the time of construction to determine if any upgrades are needed. Minor repairs for unevenness or potentially to correct a kerb ramp may be needed, subject to assessment.
- 83. A new kerb pram ramp to meet the relevant Australian Standards including AS1428.1, Council engineering standards and Section 93 of the Housing SEPP 2021, on the western side of Excelsior Street to be installed / constructed.
- 84. A convex mirror shall be installed at both end of the driveway per Drawing Ref No. T21355-V.4-SP of the Traffic Impact Assessment.

Requirements Resulting from Cumberland City Council Comments

- 85. A suitably qualified AQF5 arborist is to be engaged throughout the demolition and construction works, to ensure that all vegetation proposed to be retained is protected as per AS4970 – 2009 'Protection of Trees on Development'.

- 86. During construction or any time during the development, any pruning works should be carried out to AS4373 – 2007 Pruning of amenity trees.
- 87. The landscape works for the site should be carried out by minimum AQF3 qualified landscapers.
- 88. A survey to detail the proposed pipe extension within Kimberley Street is required. Details of existing and proposed infrastructure should be clearly shown on the survey plan and endorsed by the consultant civil engineer.

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialing 1100.

Decision Statement

Project No. BGYF2

SITE IDENTIFICATION	
STREET ADDRESS	
Unit/Street No.	Street or property name
17-21	Kimberley Street
Suburb, town or locality	Postcode
Merrylands, NSW	2160
Local Government Area(s)	Real property description (Lot and DP)
Cumberland	Lots 206, 207 & 208 in DP 926

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of existing dwelling and structures (19 Kimberley Street), removal of trees, and the construction of 16 independent seniors living units comprising 8 x 1 bedroom and 8 x 2 bedroom units, at grade parking for 8 cars and associated landscaping and fencing, and consolidation of three lots into a single lot.

The Land & Housing Corporation (LAHC) has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation 2021*.

Based on the REF document and supporting documentation, including advice from the Cumberland City Council, a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

Reasons for the Decision

- Following an assessment of the proposed activity and associated environmental impacts within the REF it was decided that the proposed seniors housing development will have economic and social benefits and any minor short-term impacts on the environment or surrounding properties can be appropriately mitigated.

- The proposed development will assist in the provision of much needed social and affordable housing and assist in addressing the existing and growing demand for housing in the local government area.

Mitigation Measures

- Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within Section 7. All mitigation measures are detailed as Identified Requirements within the Activity Determination. Additional mitigation measures, detailed in the Activity Determination have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and to ensure legislative compliance.

Signed.....

Dated..... 1 November 2023

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation
Department of Planning & Environment



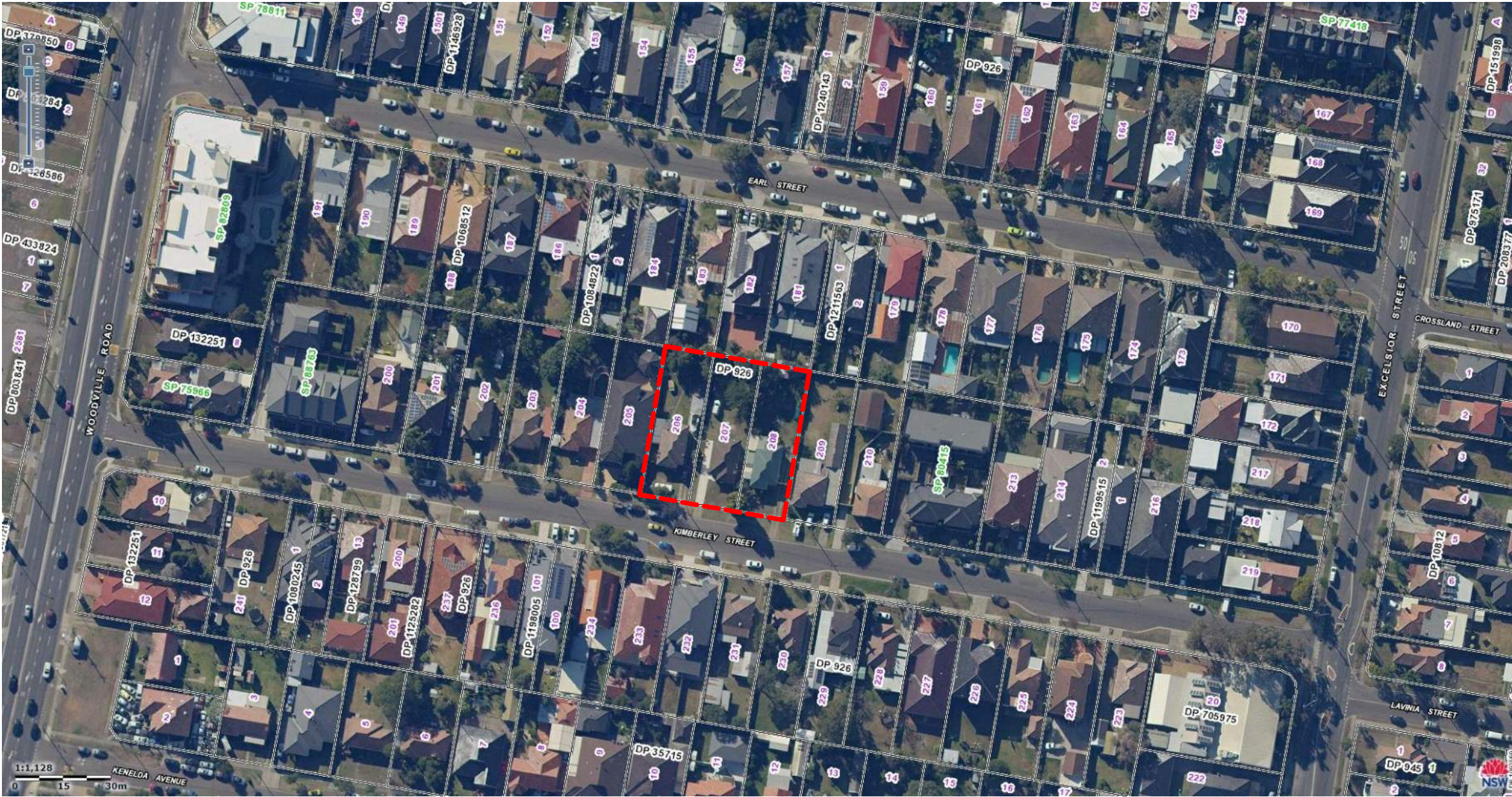
BGYF2

DEPARTMENT OF PLANNING & ENVIRONMENT

NSW LAND & HOUSING CORPORATION

AT: 17-21 KIMBERLEY STREET, MERRYLANDS
LOTS 206, 207, 208 IN DP926

LOCATION PLAN



SHEET LIST

DA00	COVER SHEET	E
DA01	BLOCK ANALYSIS	E
DA02	SITE ANALYSIS	E
DA03	DEMOLITION PLAN	E
DA04	SITE PLAN	E
DA05	GROUND FLOOR	E
DA06	FIRST FLOOR	E
DA07	ROOF PLAN	E
DA08	ELEVATIONS 1	E
DA09	ELEVATIONS 2	E
DA10	SECTIONS	E
DA11	SECTION 2 - RETAINING WALLS	E
DA12	CUT AND FILL PLAN	E
DA13	SHADOW DIAGRAM	E
DA14	VIEW FROM SUN DIAGRAM	E
DA15	MATERIALS & FINISHES	E
DA16	LOT CONSOLIDATION PLAN	A

KIMBERLEY STREET PHOTOMONTAGE



DEVELOPMENT DATA

JOB REFERENCE	BGYF2			
LOCALITY / SUBURB	MERRYLANDS			
STREET ADDRESS	17-21 KIMBERLEY STREET			
LOTS	LOTS 206, 207, 208 DP 926			
SITE AREA	2134.5m²			
NO. EXISTING LOTS	3			
PROPOSED GFA*	GROUND FLOOR: 608 m² FIRST FLOOR: 593m² TOTAL: 1201 m²			
TOTAL DWELLINGS	16 (8 x 2 BED + 8 x 1 BED)			
UNIT NO.	LEVEL	NO. BEDROOMS	AREA (m²)	P.O.S. (m²)
01	GROUND FLOOR	2 BED	76	38
02	GROUND FLOOR	2 BED	70	22
03	GROUND FLOOR	1 BED	54	27
04	GROUND FLOOR	1 BED	55	30
05	GROUND FLOOR	1 BED	54	36
06	GROUND FLOOR	1 BED	54	34
07	GROUND FLOOR	2 BED	73	72
08	GROUND FLOOR	2 BED	72	61
09	FIRST FLOOR	2 BED	76	12
10	FIRST FLOOR	2 BED	70	10
11	FIRST FLOOR	1 BED	54	8.5
12	FIRST FLOOR	1 BED	55	9
13	FIRST FLOOR	1 BED	54	8.5
14	FIRST FLOOR	1 BED	54	10
15	FIRST FLOOR	2 BED	73	11
16	FIRST FLOOR	2 BED	72	10

	CONTROL	REQUIREMENT	PROPOSED
BUILDING HEIGHT	H-SEPP	9.5m	7.5m
PARKING	H-SEPP - C1 42	ACCESSIBLE SITE RATE: 0.4 per 1 BED + 0.5 per 2 BED = 0.4*8 + 0.5*8 = 7.2 (8) TOTAL	8 TOTAL CAR SPACES
	H-SEPP - C1 108	ACCESSIBLE SPACES: 1 PER 5 UNITS = 16 / 5 = (ROUNDED UP) 4	4 ACCESSIBLE SPACES
FSR	H-SEPP	0.5:1	0.56 : 1*
	C-LEP	NOT ADOPTED	-
SETBACK	C-DCP #	FRONT SETBACK - NO LESS THAN 6m OR CORRESPONDED WITH EXISTING PREVALENT BUILDING SETBACK	6.5m
		SIDE SETBACK - 3m	EAST - 3.0m WEST - 3.05m
		REAR SETBACK - 20% OF THE LENGTH OF THE SITE (9.32m) OR 6m, WHICHEVER IS GREATER	18.9m
LANDSCAPING	H-SEPP	35m² / UNIT = 525m² MIN	840m²
DEEP SOIL	H-SEPP	15% OF SITE AREA, MIN DIMENSION 3m = 320.2m² MIN TOTAL 65% OF REQUIRED DEEP SOIL AT REAR =208.1m² MIN AT REAR	444m² TOTAL (252m² AT REAR)
SOLAR ORIENTATION	H-SEPP	70% OF DWELLINGS TO HAVE MIN. 2 HRS SUNLIGHT BETWEEN 9AM-3PM MIDWINTER TO LIVING AREA & P.O.S	12 / 16 UNITS = 75% LIVING + P.O.S (NOTE: 3 HRS SOLAR ACHIEVED TO 8/16 UNITS)
	ADG	MAX 15% OF UNITS NO SOLAR MID WINTER	2 / 16 UNITS = 12.5%
CROSS VENTILATION	ADG	CROSS VENTILATION TO MIN 60% UNITS	10/16 UNITS = 62.5% (INCLUDING CLERESTORY WINDOWS TO UNITS 11 & 13)
COMMON OPEN SPACE	ADG	25% OF SITE AREA = 534m²	270m² INFORMAL COS AT REAR

C-LEP = CUMBERLAND LOCAL ENVIRONMENTAL PLAN 2021
C-DCP = CUMBERLAND DEVELOPMENT CONTROL PLAN 2021
H-SEPP = HOUSING SEPP 2021
ADG = APARTMENT DESIGN GUIDE

* GROSS FLOOR AREA CALCULATION FOR H-SEPP EXCLUDES EXTERIOR WALLS BUT INCLUDES COMMON VERTICAL CIRCULATION SPACE

CUMBERLAND DCP - PART B3 (RFB) REFERS TO 2.4 OF LRHD DESIGN GUIDE FOR DA - MULTI DWELLING HOUSING



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NOMINATED ARCHITECT:	SIGNATURE:	E	18-04-23	PART 5 ISSUE
MICHAEL BULLEN		D	27-03-23	PART 5 ISSUE
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BCA CONSULTANT	LANDSCAPE CONSULTANT
	GREENLAND DESIGN

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PROJECT
RESIDENTIAL FLAT DEVELOPMENT UNDER
SEPP (HOUSING) 2021

17-21 KIMBERLEY STREET, MERRYLANDS, NSW
LOTS 206, 207, 208 IN DP926

TITLE	STATUS
COVER SHEET	PART 5
FILE	DATE 18-04-23
PLOTTED	SCALE NTS
	STAGE
	SHEET SIZE A1
	PROJ MB
	DESIGNER AG
	DRAWN MB
	REV E
	DA00



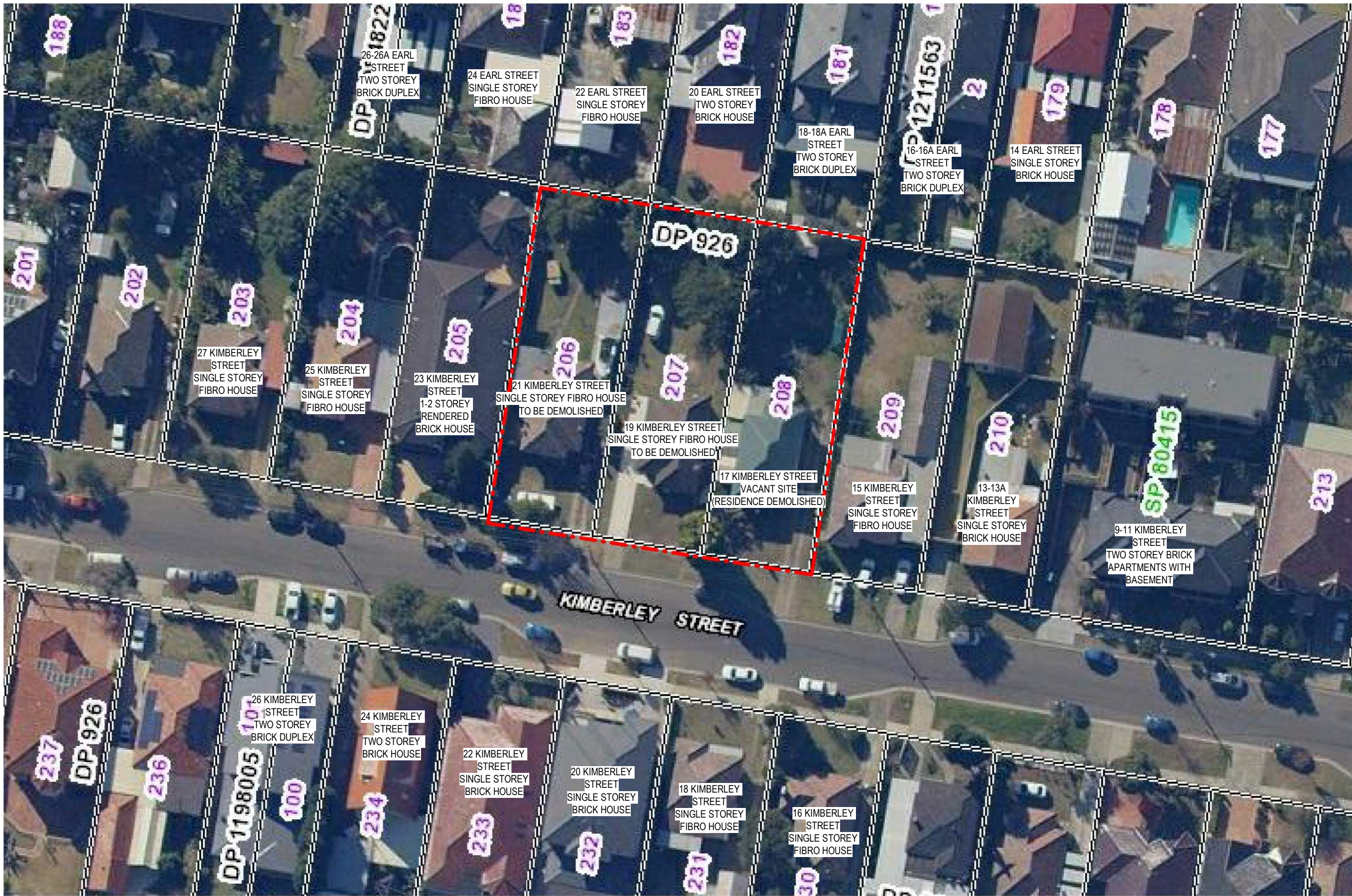
PHOTO 01 - 21 KIMBERLEY STREET



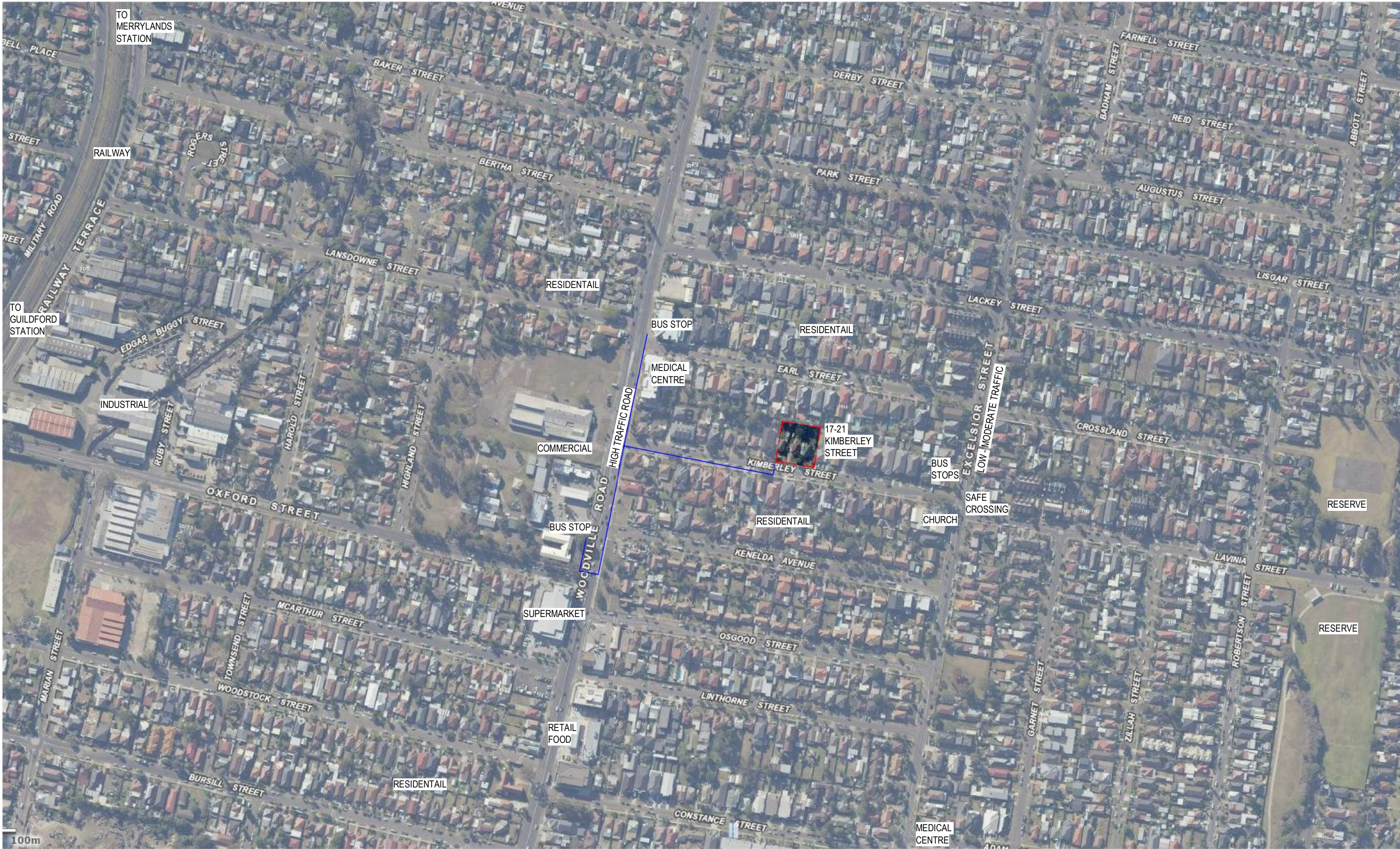
PHOTO 02 - 19 KIMBERLEY STREET



PHOTO 03 - 17 KIMBERLEY STREET



* AERIAL PHOTO - SOURCE: SIX MAPS



* AERIAL PHOTO - SOURCE: SIX MAPS

1 BLOCK ANALYSIS

SCALE 1 : 500



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PROJECT
RESIDENTIAL FLAT DEVELOPMENT UNDER SEPP (HOUSING) 2021
17-21 KIMBERLEY STREET, MERRYLANDS, NSW LOTS 206, 207, 208 IN DP926

TITLE
BLOCK ANALYSIS
FILE
PLOTTED

STATUS
PART 5
DATE
18-04-23
SCALE
NTS
STAGE
A1
TYPE
SHEET
DA01

PROJ
MB
DESIGNER
AG
PROJECT No
BGYF2
DRAWN
MB
REV
E



LEGEND

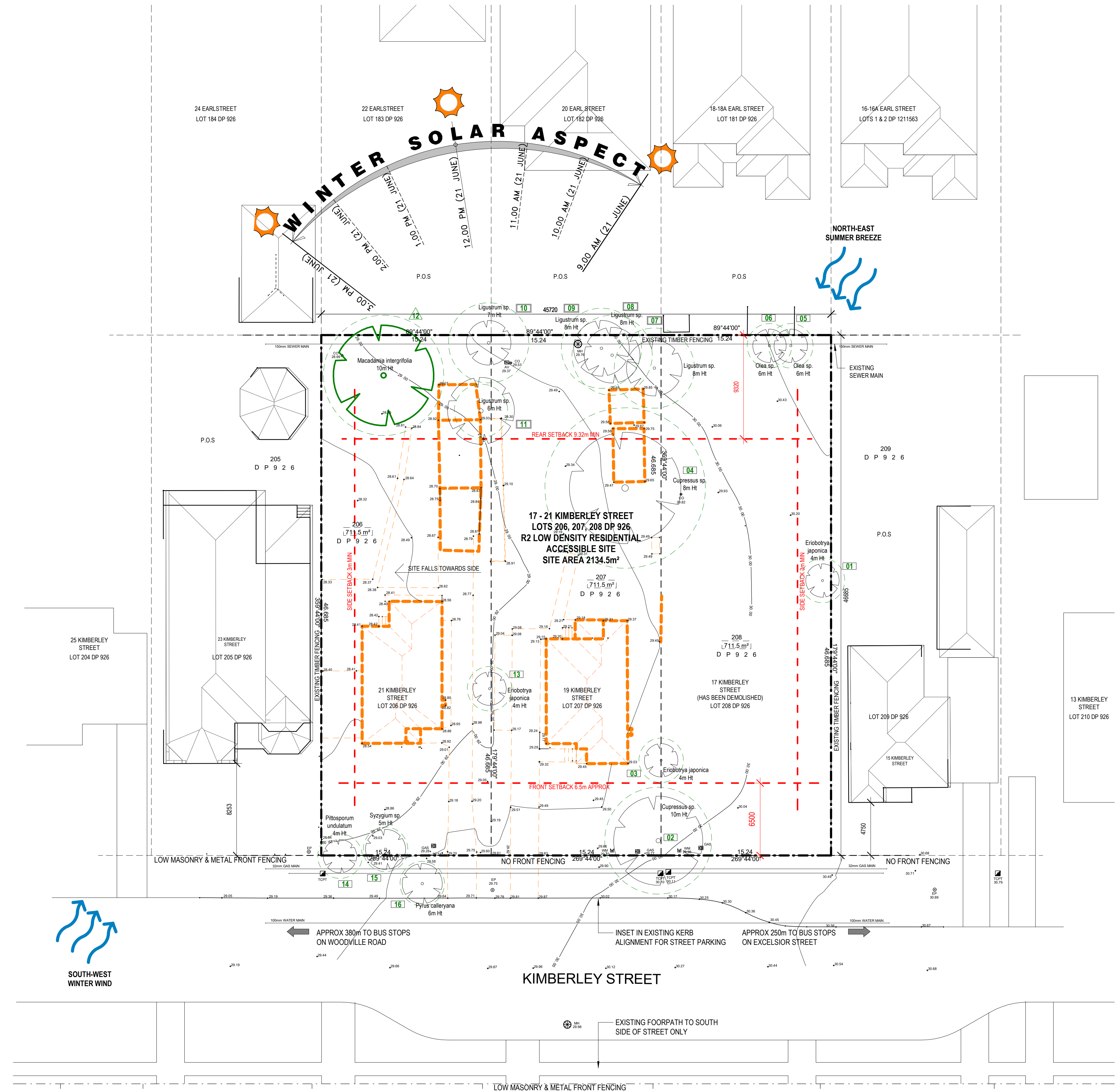
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- EXISTING TREE - CATEGORY Z - NOT SUITABLE FOR RETENTION (WITH TPZ DASHED)
- EXISTING TREE - CATEGORY ZZ - NOT SUITABLE FOR RETENTION (WITH TPZ DASHED)
- EXISTING STRUCTURE - TO BE DEMOLISHED
- PP POWER POLE
- T TELSTRA PIT
- H HYDRANT
- SW STORMWATER
- S SEWER

SITE CHARACTERISTICS & POTENTIALS

- THE CHARACTER OF SURROUNDING DEVELOPMENTS CONSISTS OF A MIXTURE OF OLDER DETACHED SINGLE STOREY RESIDENTIAL DWELLINGS ALONG WITH NEWER 2 STOREY APARTMENT BUILDINGS & TERRACES
- GENTLY SLOPING SITE - AIDS ACCESSIBILITY WITHIN THE SITE
- LOW TRAFFIC LEVELS ON KIMBERLEY STREET
- SITE IS WITHIN CLOSE PROXIMITY OF BUS STOPS ON EXCELSIOR STREET WITH EXISTING REFUGE CROSSING
- REGULAR RECTANGULAR SHAPED SITE

SITE CONSTRAINTS

- TREES WITHIN SITE - AS PER ARBORIST REPORT
- POWER POLE WITHIN FRONTAGE
- STORMWATER DESIGN TO CONSIDER THAT THE SITE SLOPES TO THE SIDE / REAR
- NO EXISTING FOOTPATH ON NORTH SIDE OF THE STREET
- EXISTING ADJACENT TWO-STOREY DWELLINGS - POSSIBLE OVERLOOKING



1 SITE ANALYSIS

SCALE 1 : 200



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RESIDENTIAL FLAT DEVELOPMENT UNDER
SEPP (HOUSING) 2021

17-21 KIMBERLEY STREET, MERRYLANDS, NSW
LOTS 206, 207, 208 IN DP926

TITLE
SITE ANALYSIS

FILE

PLOTTED

STATUS
PART 5

DATE
18-04-23

SCALE
1:200

STAGE
A1

PROJ
MB

DESIGNER
AG

CHECKED
MB

REV
E

PROJECT No
BGYP2

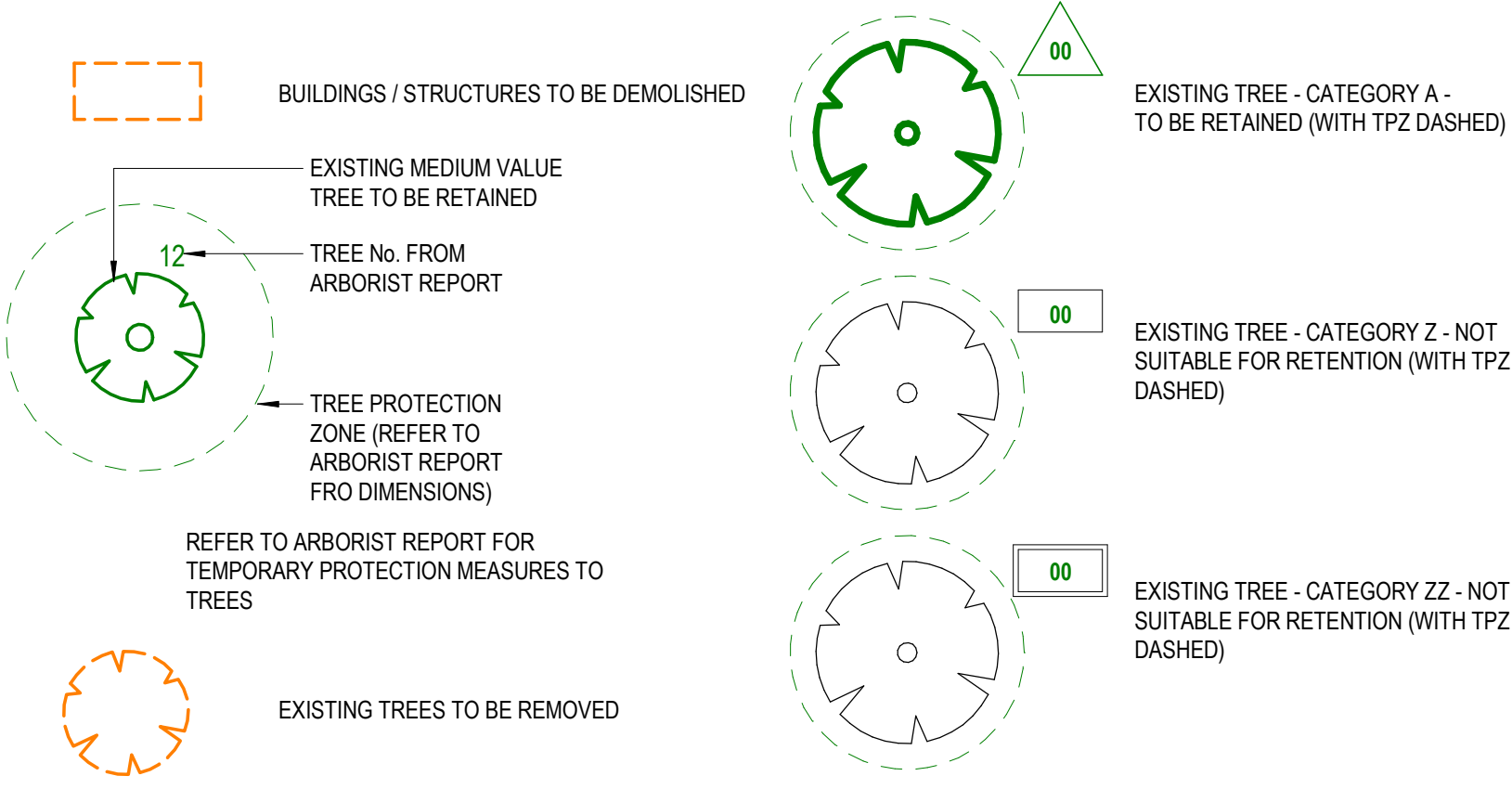
SHEET SIZE
A1

DA02

REV
E

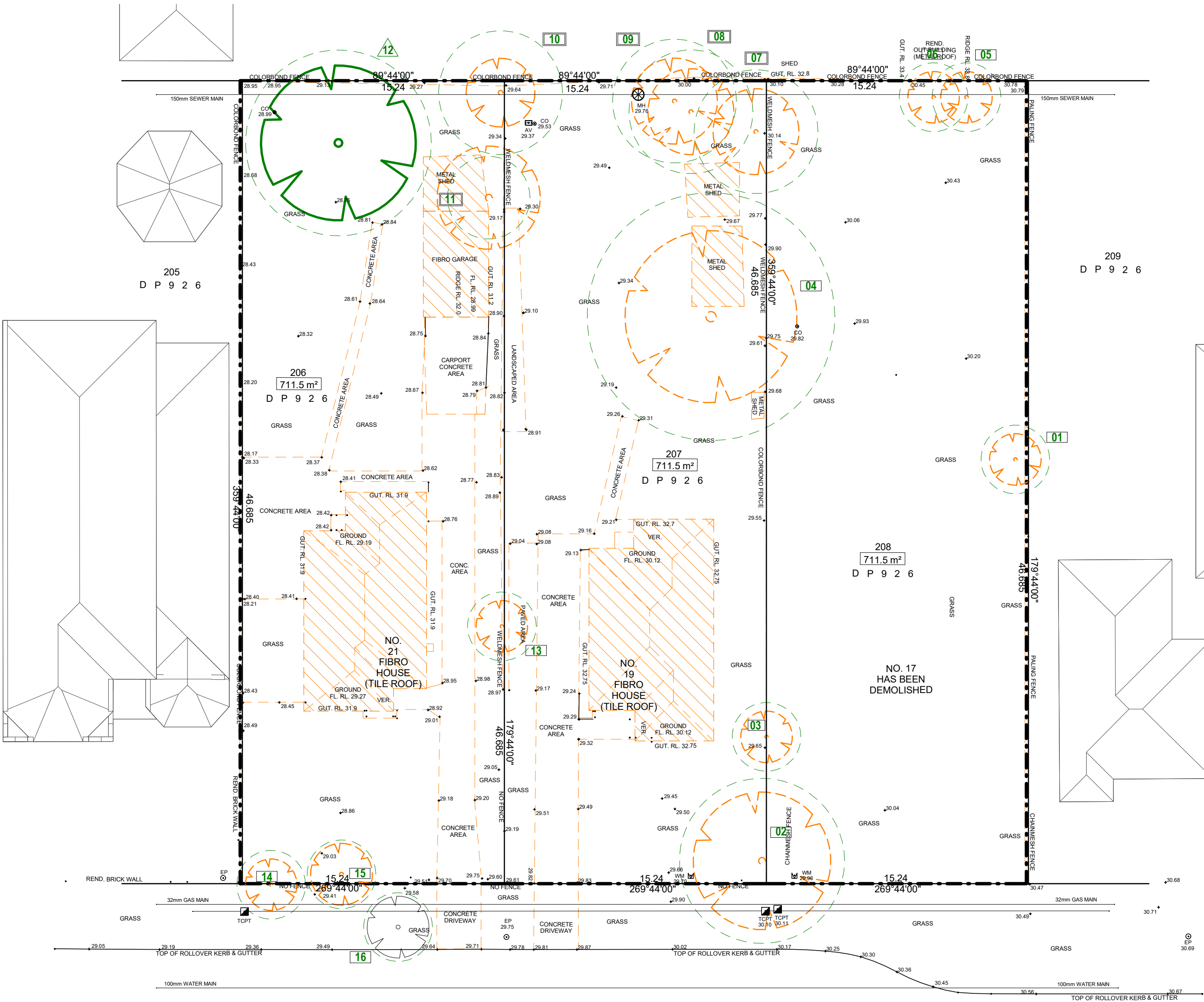


LEGEND:



DEMOLITION NOTES:

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS INCLUDING AS2601 (2001 - AS AMENDED) THE DEMOLITION OF STRUCTURES, CODES AND LOCAL AUTHORITY REQUIREMENTS.
- ALL EXISTING SERVICES ON & ADJACENT TO THE SITE TO BE VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONFIRM EXISTING LOCATION OF SERVICES WITH 'DIAL BEFORE YOU DIG'.
- PROVIDE TEMPORARY FENCING AND STAGING FOR SAFETY AND SECURITY. PROVIDE LOCKABLE GATES FOR THE FULL DURATION OF CONSTRUCTION WORK UNTIL HAND OVER. FENCE SPECIFICATION TO BE IN-ACCORDANCE WITH COUNCIL AND WH&S STANDARDS. PROVIDE SIGNAGE TO COMPLY WITH COUNCIL REQUIREMENTS.
- REFER TO LAHC REFERENCE SPECIFICATION FOR HOUSING CONSTRUCTION, SECTIONS (BUT NOT LIMITED TO): PRELIMINARIES & 01-DEMOLITION
- DEMOLISH AND REMOVE FROM SITE STRUCTURES AS NOTED, MATERIALS ON SITE, INCLUDING ALL BUILDING STRUCTURES UNDERGROUND AND ANY UNDERGROUND INSPECTION AND PITS AND THEIR ASSOCIATED SERVICES LINES. MAKE SAFE ALL SERVICES.
- ALLOW FOR ALL REMOVAL OF ALL ASBESTOS AND ANY HAZARDOUS MATERIALS ON SITE. DISPOSE HAZARDOUS MATERIAL IN-ACCORDANCE WITH EPA AND LOCAL COUNCIL'S REQUIREMENT. PAY FOR FEES ASSOCIATED WITH REMOVAL & DISPOSAL OF WASTE.
- DEMOLISH & REMOVE FENCES AS NOTED BUT NOT LIMITED TO: WATER TANKS, SEPTIC TANKS, CLOTHES LINES, BBQ & ASSOCIATED AREAS, LANDSCAPING, DECKS, STAIRS, ANTENNAS, PONDS & ASSOCIATED SERVICES & EQUIPMENT.
- TERMINATE, CAP OFF OR DIVERT OF ALL EXISTING SERVICES WHERE SO REQUIRED AND/OR ARE NECESSARY TO CARRY OUT NEW WORKS. PERFORM ALL WORKS IN BEST TRADESMAN-LIKE MANNER AND TO THE SATISFACTION OF RELEVANT AUTHORITIES.
- ALL EXISTING STORMWATER & SEWERAGE DRAIN CONNECTIONS TO EXISTING MAINS TO BE CAPPED
- WHOLE SITE TO BE MADE SECURE BY SUITABLE METAL FENCING/ HOARDINGS TO PREVENT ANY UNAUTHORISED ACCESS. SITE SECURITY AND SAFETY TO BE UNDERTAKEN BY BUILDING CONTRACTOR.
- REMOVE ALL SPOIL & DEMOLISHED MATERIAL FROM SITE.
- DISCONNECT ALL EXISTING ON SITE SERVICES TO THE SITE BOUNDARIES CLEAR OF WORKS. MAKE SAFE TO AUTHORITIES REQUIREMENTS.
- ALL TREES SHOWN DOTTED TO BE REMOVED, ALL OTHER EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION WORK IN-ACCORDANCE WITH ARBORIST AND COUNCIL'S RECOMMENDATION. REFER TO LANDSCAPE DESIGN FOR ADDITIONAL INFORMATION.
- CLEAR THE SITE OF ALL VEGETATION AND TOPSOIL, LEFT BEHIND MATERIALS, SPOIL, ETC
- DEMOLISH EXISTING CROSSINGS & REPLACE WITH KERB & GUTTER TO COUNCIL'S REQUIREMENTS. MAKE GOOD TO SURROUNDS WHERE DISTURBED BY NEW WORKS TO COUNCIL ENGINEER'S SPECIFICATION. OBTAIN ALL COUNCIL APPROVALS AND PAY ALL AUTHORITIES' FEES / BONDS.
- ALL DIMENSIONS SHOWN IN METRES
- REFER TO PHOTOS ON THIS PAGE SHOWING ELEVATIONS OF DWELLINGS PROPOSED FOR DEMOLITION



KIMBERLEY STREET

1 | DEMOLITION PLAN

SCALE 1 : 200



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RESIDENTIAL FLAT DEVELOPMENT UNDER
SEPP (HOUSING) 2021
17-21 KIMBERLEY STREET, MERRYLANDS, NSW
LOTS 206, 207, 208 IN DP926

TITLE
DEMOLITION PLAN
FILE PLOTTED

STATUS
PART 5
DATE 18-04-23 SCALE 1:200 PROJ MB PROJECT No BGYF2
STAGE SHEET SIZE A1 DESIGNER AG CHECKED MB
TYPE SHEET DA03 REV E

LEGEND:

- COMMON STAIRS

1 BEDROOM UNIT

2 BEDROOM UNIT

LANDSCAPE AREA

DEEP SOIL AREA

CONCRETE / PATHWAY

DRIVEWAY

PAVED COURTYARD / BALCONY
- BALCONY OVER

EXISTING BUILDING TO BE DEMOLISHED

CIRCULATION CLEARANCE

L8

LETTERBOX

G

GARBAGE AREA

P.O.S

PRIVATE OPEN SPACE

HIL

HIGHLIGHT WINDOW

DP

DOWNPIPE

CL

CLOTHES LINE

HW

GAS HOT WATER HEATER

PP

POWER POLE (EXISTING)

TEL

TELSTRA PIT (EXISTING)

LT

EXTERIOR LIGHT

PP

POWER CONDUIT

PP

TELECOM LINE

PP

SEWER LINE

PP

SETBACK LINE

PP

STORMWATER PIT (REFER TO CIVIL LAYOUT PLAN)

PP

PROPOSED RL TO AHD

PP

EXISTING GROUND RL FROM SURVEY TO AHD

EXISTING TREE - CATEGORY A - TO BE RETAINED (WITH TPZ DASHED)

EXISTING TREE - CATEGORY Z - NOT SUITABLE FOR RETENTION (WITH TPZ DASHED)

EXISTING TREE - CATEGORY ZZ - NOT SUITABLE FOR RETENTION (WITH TPZ DASHED)

EXISTING TREE - TO BE DEMOLISHED

PROPOSED NEW TREES - REFER TO LANDSCAPE PLAN

PROPOSED NEW PLANTING - REFER TO LANDSCAPE PLAN

GENERAL NOTES:

- REFER TO ENGINEERS DOCUMENTATION FOR PROPOSED STORMWATER.
- REFER SURVEY DOCUMENTATION FOR ALL EXISTING SERVICES.
- REFER TO LANDSCAPE PLAN FOR PLANTING TYPES
- ALL SLOPE ARROWS SHOW SLOPE UP UNLESS ANNOTATED 'FALL'.
- READ IN CONJUNCTION WITH CUT & FILL PLAN AND RETAINING WALL SECTIONS
- FENCE FEN-1 TYPICAL HEIGHT 1.5m (MASONRY BIN AREA WALLS & PIERS)
- FENCE FEN-2 TYPICAL HEIGHT 1.8m (BOUNDARY FENCE), EXCEPT AS NOTED
- FENCE FEN-3 TYPICAL HEIGHT 1.2m AT FRONT, 1.5m AT REAR & WHERE PRIVACY REQUIRED
- FENCE FEN-3A HT 1.6m - NO GAPS IN FENCING ADJACENT DRIVEWAY ENTRY FOR HEADLIGHTS

DEEP SOIL ZONES CALCULATION:

- DSZ1 - 213m² (AT REAR)
DSZ2 - 39m² (AT REAR)
DSZ3 - 100m²
DSZ4A - 15m²
DSZ4B - 10m²
DSZ5 - 39m²
DSZ6A - 16m²
DSZ6B - 12m²

TOTAL= 444m²

1 | SITE PLAN

SCALE 1 : 200



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1:200

STAGE
A1

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MB

DESIGNER
AG

CHECKED
MB

REV
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PROJECT No
BGYF2

PROJECT No
BGYF2

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PROJECT No
BGYF2

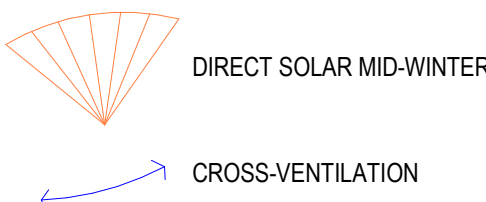
PROJECT No
BGYF2

PROJECT No
BGYF2

PROJECT No
BGYF2

LEGEND

- COMMON AREA
1 BEDROOM UNIT
2 BEDROOM UNIT
BALCONY / PATIO

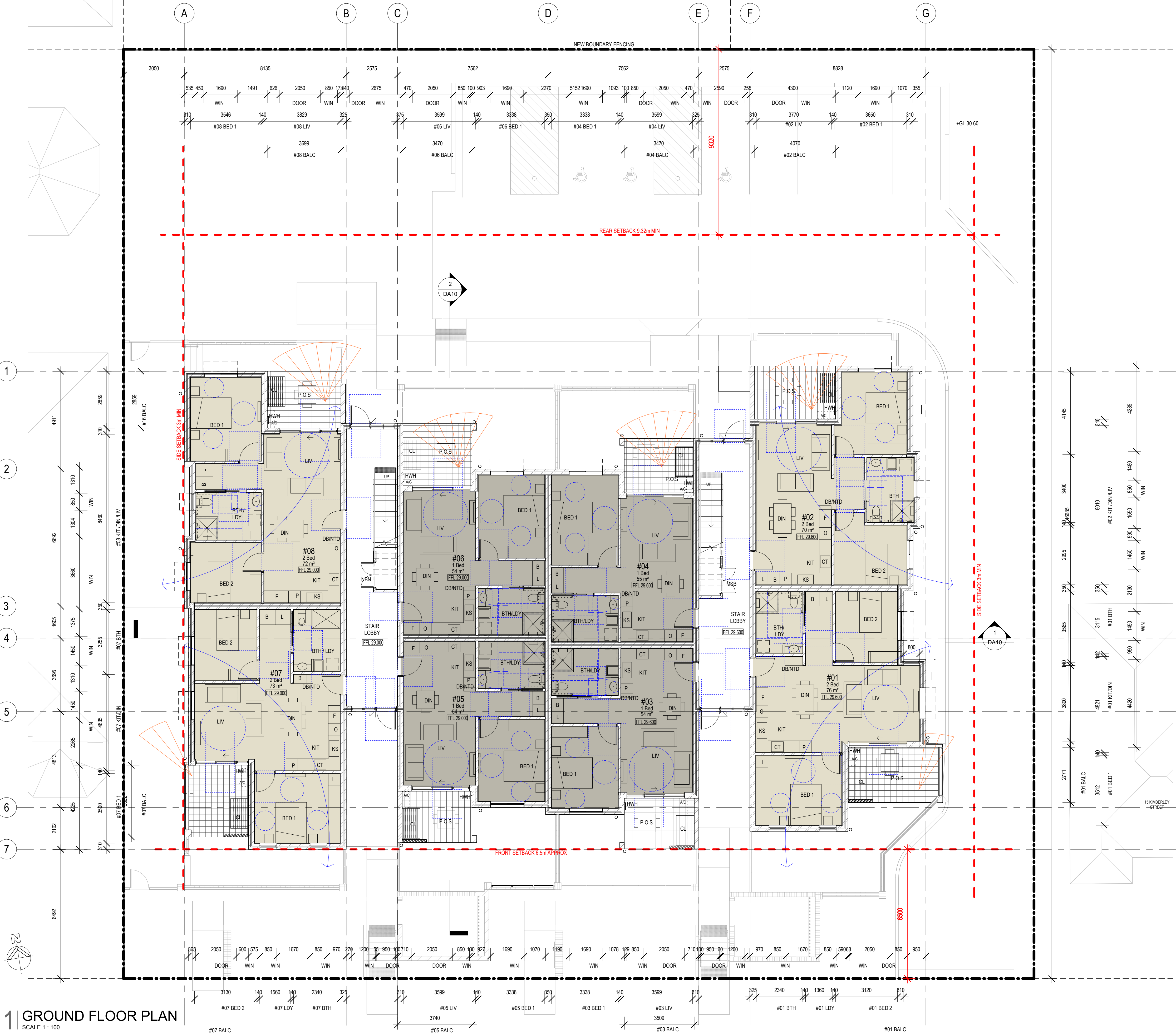


- P.O.S. PRIVATE OPEN SPACE
F.F.L. FINISHED FLOOR LEVEL
CL CLOTHES LINE
B BROOM CUPBOARD
L LINEN
KS KITCHEN SINK
CT COOKTOP
P PANTRY
F FRIDGE
WO WALL OVEN
HWH GAS HOT WATER HEATER

NOTES:
1. FULL BRICK CONSTRUCTION TO GROUND FLOOR + FIRST FLOOR INCLUDING FULL HT OF PARTY WALLS. ALL INTERNAL WALLS TO BE LINED WITH PLASTERBOARD EXCEPT STAIRWAYS & BATH/ LAUNDRIES TO BE RENDERED.

FIRE SAFETY MEASURES:
EXISTING SERVICES
STREET HYDRANTS PROVIDE COVERAGE IN ACCORDANCE WITH NCC (2022) B102 AND AS 2419.1, OR A PERFORMANCE SOLUTION TO BE PROVIDED

PROPOSED SERVICES
PORTABLE FIRE EXTINGUISHERS TO BE IN ACCORDANCE WITH NCC (2022) B1014 AND AS 2444
EMERGENCY LIGHTING TO BE IN ACCORDANCE WITH NCC(2022) E4D2, E4D4 AND AS 2293.1
EXIT AND DIRECTIONAL SIGNS TO BE IN ACCORDANCE WITH NCC(2022) B4D5 - D8 AND AS 2293.1
SMOKE DETECTOR TO BE IN ACCORDANCE WITH NCC(2022) SPEC 20 AND AS 1670.1 AND AS 3786
LIFT-OFF HINGES TO BE PROVIDED TO FIRST FLOOR BATHROOM DOORS
NBN CUPBOARD UNDER STAIRS TO BE FIRE-RATED MIN 60/60/60
MSB CUPBOARD TO BE MIN FRL 120/120/120
FIRST FLOOR WINDOWS OPENING RESTRICTED TO 125mm MAX



1 GROUND FLOOR PLAN

SCALE 1: 100



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SCALE
1:100

STAGE
A1

SHEET
DA05

PROJ MB
DESIGNER AG
CHECKED MB
REV E

PROJECT No
BGYP2
SHEET
MB
REV
E



LEGEND

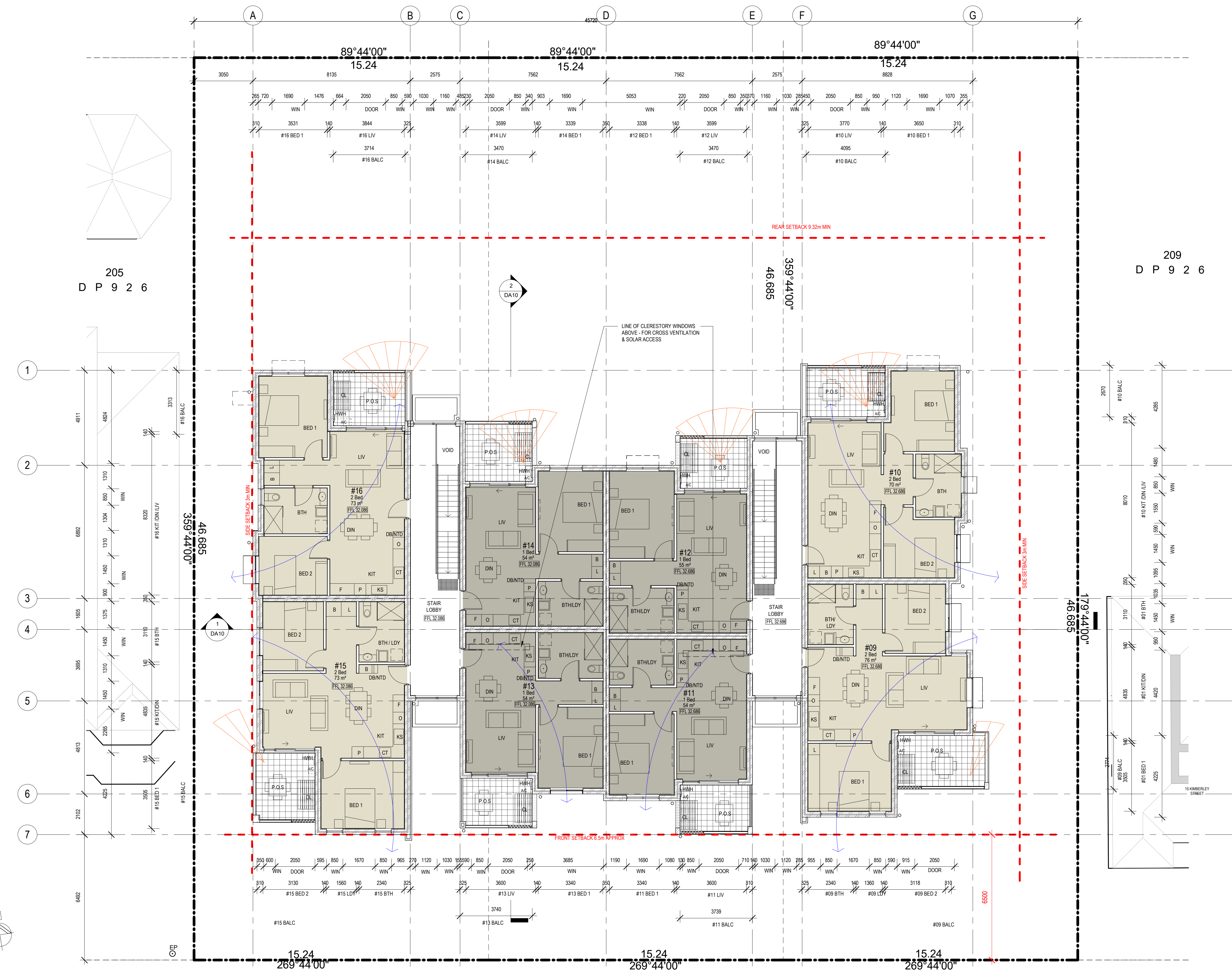
- COMMON AREA
1 BEDROOM UNIT
2 BEDROOM UNIT
BALCONY / PATIO
- DIRECT SOLAR MID-WINTER
CROSS-VENTILATION

- P.O.S. PRIVATE OPEN SPACE
FFL FINISHED FLOOR LEVEL
CL CLOTHES LINE
B BROOM CUPBOARD
L LINEN
KS KITCHEN SINK
CT COOKTOP
P PANTRY
F FRIDGE
WO WALL OVEN
HWH GAS HOT WATER HEATER

NOTES:
1. FULL BRICK CONSTRUCTION TO GROUND FLOOR + FIRST FLOOR INCLUDING FULL HT OF PARTY WALLS. ALL INTERNAL WALLS TO BE LINED WITH PLASTERBOARD EXCEPT STAIRWAYS & BATH/LAUNDRIES TO BE RENDERED.

FIRE SAFETY MEASURES:
EXISTING SERVICES:
STREET HYDRANTS PROVIDE COVERAGE IN ACCORDANCE WITH NCC (2022) B102 AND AS 2419.1, OR A PERFORMANCE SOLUTION TO BE PROVIDED

PROPOSED SERVICES:
PORTABLE FIRE EXTINGUISHERS TO BE IN ACCORDANCE WITH NCC (2022) B1014 AND AS 2444
EMERGENCY LIGHTING TO BE IN ACCORDANCE WITH NCC(2022) E4D2, E4D4 AND AS 2293.1
EXIT AND DIRECTIONAL SIGNS TO BE IN ACCORDANCE WITH NCC(2022) B4D5 - D8 AND AS 2293.1
SMOKE DETECTOR TO BE IN ACCORDANCE WITH NCC(2022) SPEC 20 AND AS 1670.1 AND AS 3786
LIFT-OFF HINGES TO BE PROVIDED TO FIRST FLOOR BATHROOM DOORS
NBN CUPBOARD UNDER STAIRS TO BE FIRE-RATED MIN 60/60/60
MSB CUPBOARD TO BE MIN FRL 120/120/120
FIRST FLOOR WINDOWS OPENING RESTRICTED TO 125mm MAX



1 FIRST FLOOR PLAN
SCALE 1 : 100



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NOMINATED ARCHITECT:	SIGNATURE:	E	18-04-23 PART 5 ISSUE
MICHAEL BULLEN		D	27-03-23 PART 5 ISSUE
		C	03-03-23 PART 5 FOR REVIEW
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		A	21-11-22 ISSUE FOR REVIEW
REV	DATE		NOTATION/AMENDMENT
			DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.

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LAND & HOUSING CORPORATION

PROJECT
RESIDENTIAL FLAT DEVELOPMENT UNDER
SEPP (HOUSING) 2021

17-21 KIMBERLEY STREET, MERRYLANDS, NSW
LOTS 206, 207, 208 IN DP926

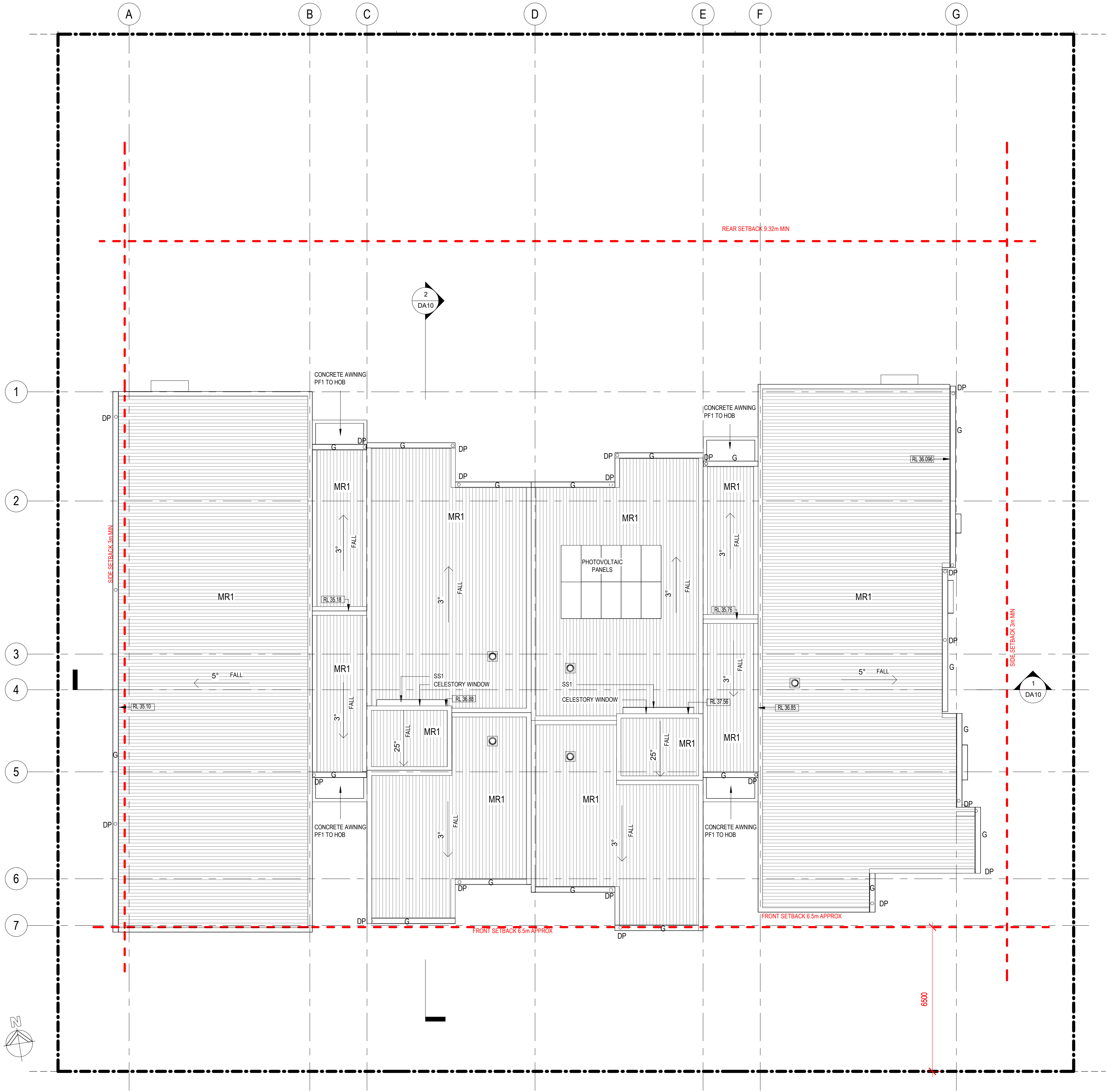
TITLE
FIRST FLOOR

FILE

STATUS	PART 5
DATE	18-04-23
SCALE	1:100
PROJ	MB
PROJECT No	BGYF2
STAGE	A1
DESIGNER	AG
DRAWN	MB
REV	E
SHEET	DA06

LEGEND:

- MR1 COLORBOND METAL DECK ROOF
WITH SARKING/INSULATION UNDER
- DP DOWNPIPE
- G GUTTER - 200mm COLORBOND
HALFROUND TYP.
- RL 00.00 PROPOSED RL TO AHD



1 ROOF PLAN
SCALE 1 : 100



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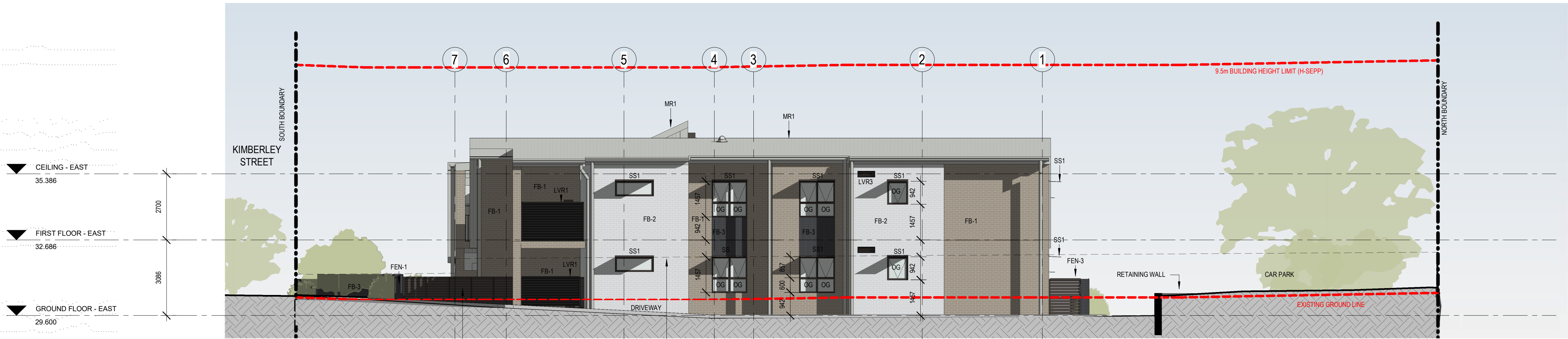
17-21 KIMBERLEY STREET, MERRYLANDS, NSW
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TITLE ROOF PLAN
FILE
PLOTTED

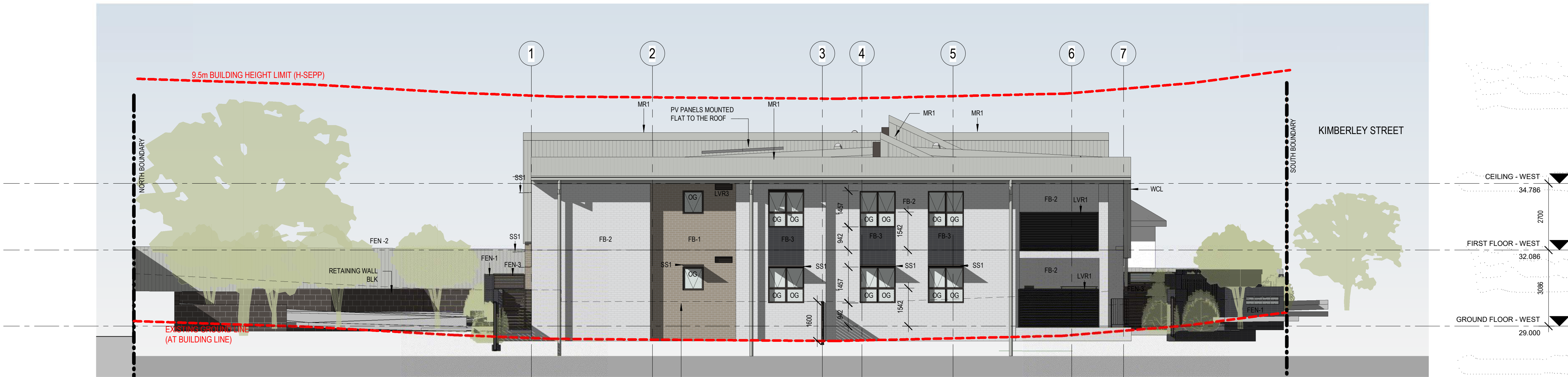
STATUS PART 5			
DATE 18-04-23	SCALE 1:100	PROJ MB	PROJECT No BGYF2
STAGE	SHEET SIZE A1	DESIGNER AG	CHECKED MB
TYPE	SHEET DA07	REV E	



C:\Users\aged\Documents\21-4550_17-21 Kimberley St Merrylands_SKETCH_REV_Q_CENTRAL_A_Ged@brewstermurray.com.au\cvt
20/04/2023 7:12:46 PM



1 EAST ELEVATION
SCALE 1:100



2 WEST ELEVATION
SCALE 1:100

EXTERIOR FINISHES

CODE	MATERIAL	DESCRIPTION	FINISH
FB-1		FACE BRICK	LIGHT BROWN WITH NATURAL VARIATION
FB-2		FACE BRICK	OFF-WHITE
FB-3, FEN-1		FEATURE BRICK, BRICK PIERS, GARBAGE AREA WALLS	DARK GREY
MR1		METAL ROOF	LIGHT GREY
G, DP		GUTTERS, DOWNPIPES	LIGHT GREY
WF, DF, SS1		ALUMINIUM WINDOW FRAMES, DOOR FRAMES, SUN SHADE	DARK GREY
BAL-1, PF1		BALUSTRADES, CONCRETE AWNINGS - PAINT FINISH	DARK GREY
WCL1		METAL CLADDING	LIGHT GREY

CODE	MATERIAL	DESCRIPTION	FINISH
CONC-1		CONCRETE COURTYARDS, PATHWAYS, DRIVEWAYS, ENTRANCE AWNINGS	NATURAL GREY CONCRETE
CONC-2		DRIVEWAYS	DARK GREY CONCRETE
FEN-2		METAL FENCING TO BOUNDARIES	LIGHT GREY
FEN-3		SLATTED PRIVACY FENCING	DARK GREY
LVR1, LVR3		HORIZ PRIVACY LOUVRES & VENT LOUVRES	DARK GREY
LVR2		VERTICAL PRIVACY LOUVRES	WOOD LOOK ALUMINIUM
BLK		SPLIT FACE BLOCK RETAINING WALL	DARK GREY



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TITLE
ELEVATIONS 2

FILE

PLOTTED

STATUS
PART 5

DATE
18-04-23

SCALE
1:100

STAGE
A1

PROJ
MB

DESIGNER
AG

PROJECT No
BGYP2

DRAWN
MB

REV
E

DA09

17-21 KIMBERLEY STREET, MERRYLANDS
SUMMARY OF BASIX COMMITMENTS

This is a summary of the BASIX Commitments as detailed in the BASIX Certificate.
Refer to the CURRENT BASIX Certificate for Complete details.

WATER COMMITMENTS

Fixtures			
Alternative Water - Central Rainwater Tank Size 2,700 (L) Tank Connected To:			
All Toilets		Outdoor Tap	
Fixtures			
4 Star Shower Heads	4 Star Toilet	5 Star Kitchen Taps	5 Star Basin Taps

THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans

ENERGY COMMITMENTS

Hot Water	Gas Instantaneous				
Cooling System	Living	None			
	Bedrooms	None			
Heating System	Living	None			
	Bedrooms	None			
Ventilation	Bedrooms	None			
	Bathrooms/Laundry	Fan ducted to roof/facade	Manual on/off		
Natural Lighting	Kitchen	Fan ducted to roof/facade	Manual on/off		
	Window/Skylight in Kitchen	As Drawn			
	Window/Skylight in Bathrooms/Toilets	As Drawn			
Artificial Lighting (Primarily lit by fluoro or LED)	Number of Bedrooms		All	Dedicated	Yes
	Number of Living/Dining Rooms		All	Dedicated	Yes
	Kitchen		Yes	Dedicated	Yes
	All Bathrooms/Toilets/Laundry Rooms		Yes	Dedicated	Yes
	All Hallways		Yes	Dedicated	Yes

OTHER COMMITMENTS

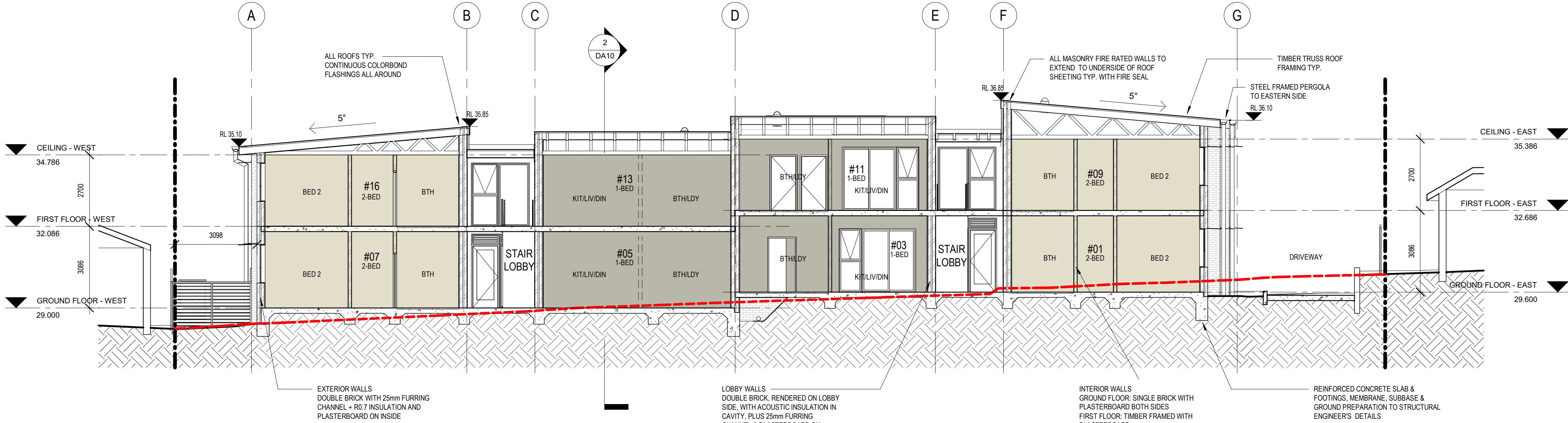
Outdoor clothes line	Yes
Stove/Oven	Gas cooktop & electric oven
Other	Well ventilated refrigerator space
	Central photovoltaic system to generate at least 3.0 peak kW of electricity
	Ceiling fans to be installed - Refer to NatHERS certificates for locations

NATHERS Thermal Performance Specification- Merrylands			
External Walls			
Wall Type	Insulation	Colour	Comments
Cavity brick	R0.7	Med - SA 0.475 - 0.70	As per elevations
Metal cladding	R2.5	Med - SA 0.475 - 0.70	As per elevations
SA - Solar Absorptance			
Internal Walls			
Wall Type	Insulation	Comments	
Plasterboard Stud	None	Internally in units	
Cavity brick-Plaster lining	None	Party walls	
Floors			
Floor Type	Insulation	Comments	
Concrete slab on ground	None	Ground level	
Concrete	None	Level 1	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	None	Unit above	
Plasterboard	R2.5	Roof above	
Insulation loss due to downlights has been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof			
Roof Type	Insulation	Colour	Comments
Metal	R1.3 Foil-faced blanket	Med - SA 0.475 - 0.70	Roof above (Unvented roof space)
SA - Solar Absorptance			
Glazing			
Opening type	U-Value	SHGC	Glazing & Frame Type
Sliding + Fixed + Clerestory (Throughout)	5.4	0.58	e.g. Single glazed clear Aluminium frame
Awning (Throughout)	5.4	0.49	e.g. Single glazed clear Aluminium frame
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values.			
Skylights / Clerestory			
Skylight Type	Frame Type	Comments	
Skylube	Timber & aluminium	Bathrooms of Units : 9, 11, 12, 13, 14 & 15	
Clerestory	Aluminium	Units: 12 & 14	
Ceiling fans			
Size	Location	Comments	
1200mm	Living & Bedrooms	All units	

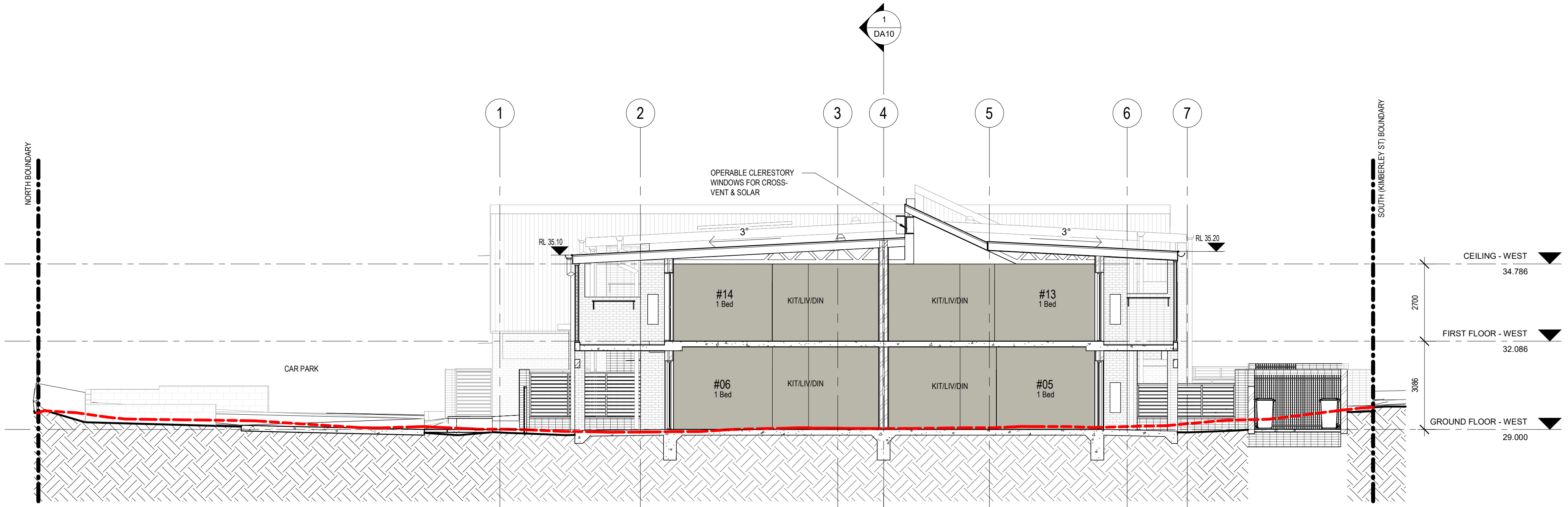
Certificate Prepared by



Greenview Consulting Pty Ltd
ABN: 32600067336
Email: dean@greenview.net.au Phone: 0404 649 762



1 | SECTION 01
SCALE 1 : 100



2 | SECTION 02
SCALE 1 : 100



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LOTS 206, 207, 208 IN DP926

TITLE

SECTIONS

FILE

PLOTTED

STATUS

PART 5

DATE 18-04-23

SCALE 1:100

STAGE A1

TYPE SHEET

PROJ

MB

DESIGNER

AG

CHECKED

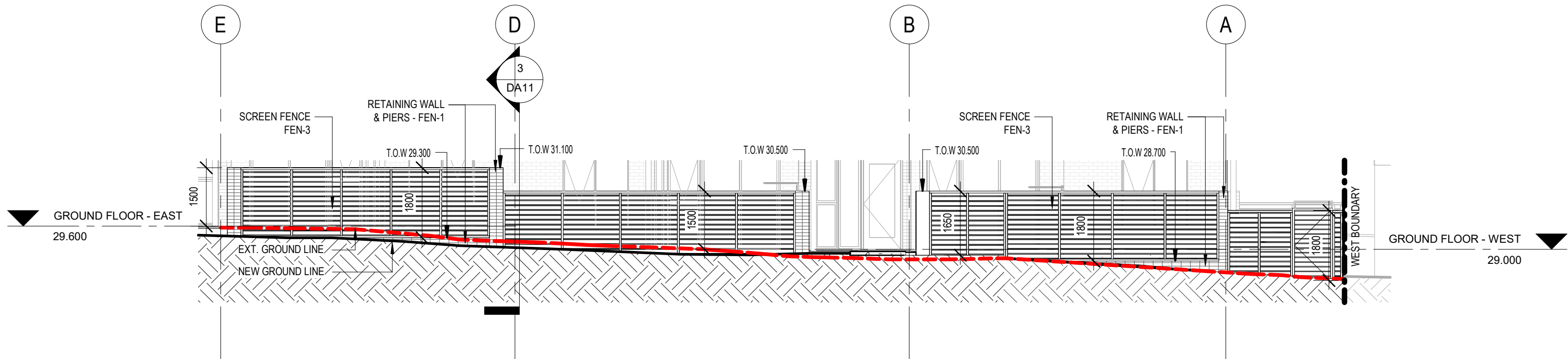
MB

REV

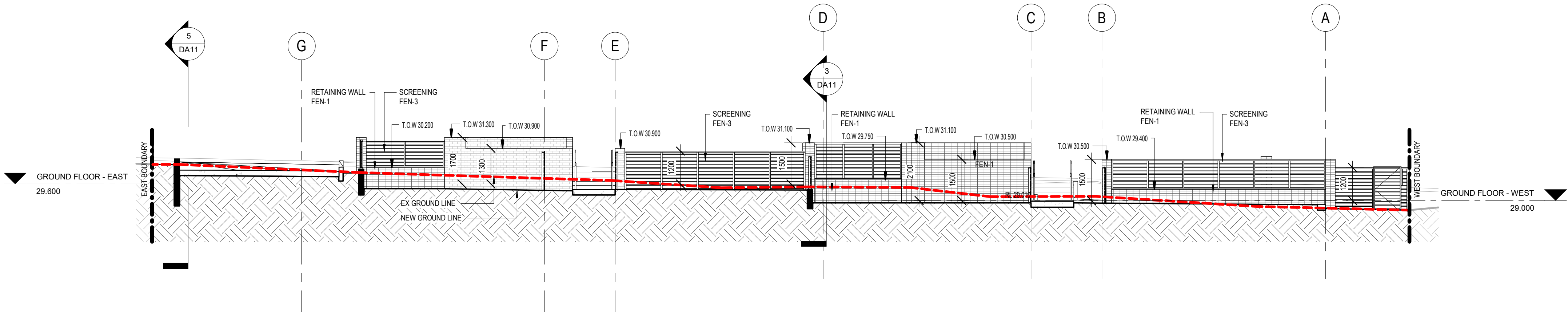
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DA10

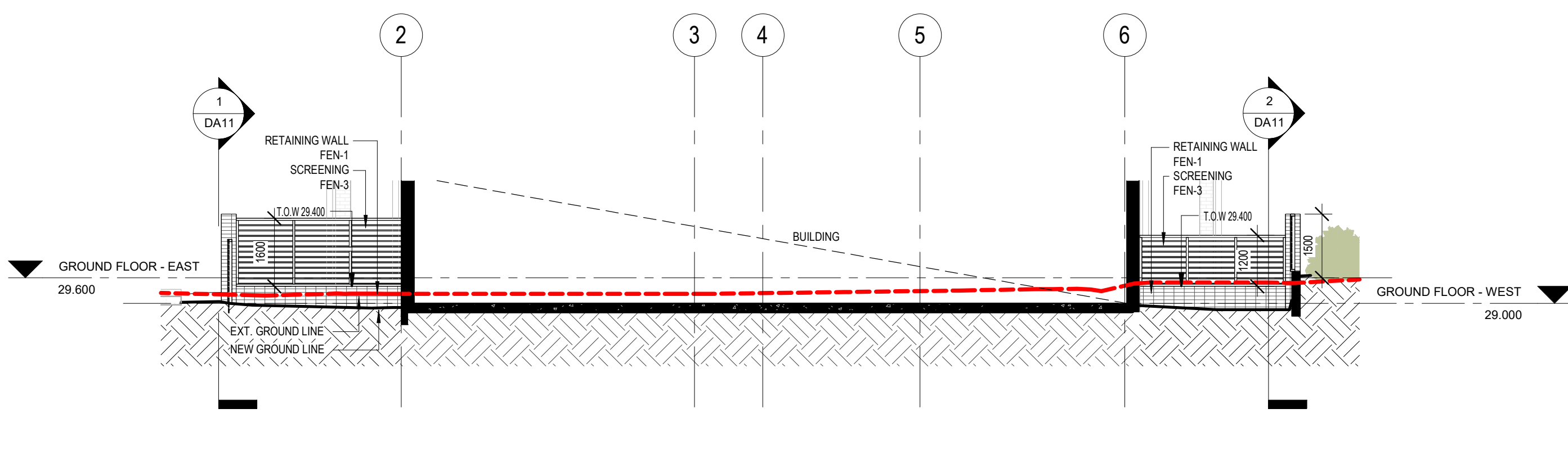
REFER TO SHEET DA12 FOR
SECTION LINE LOCATIONS



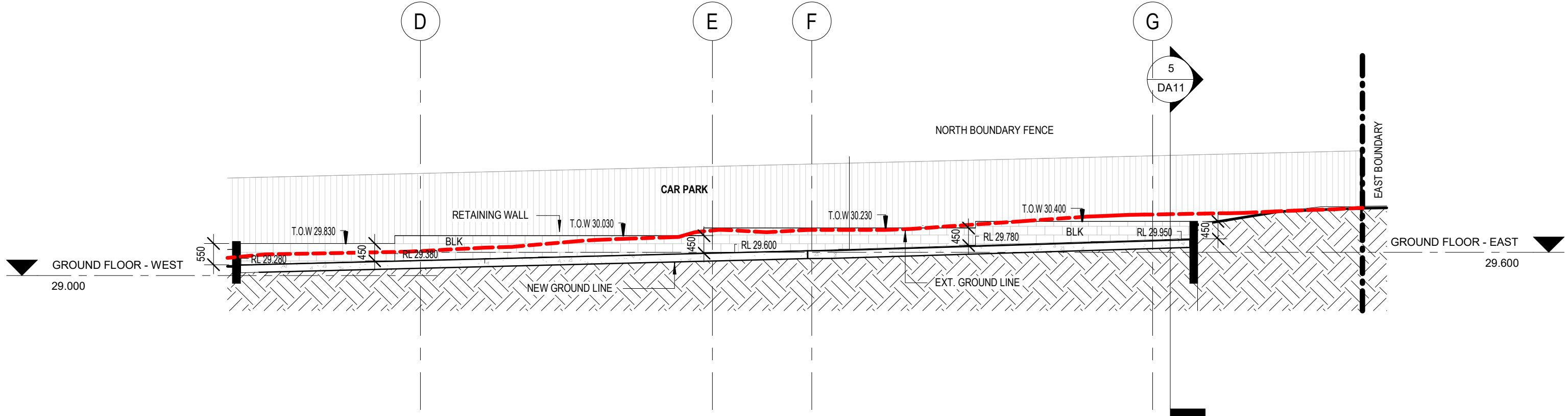
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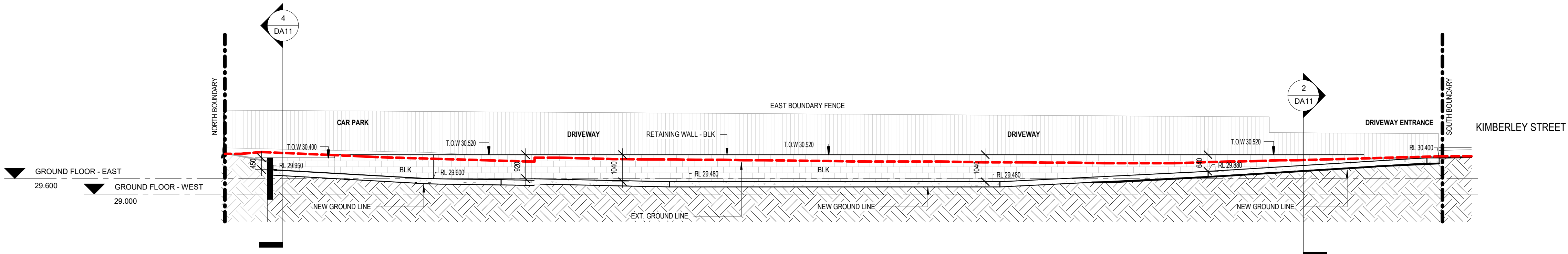
2 Section 2
SCALE 1 : 100



3 Section 3
SCALE 1 : 100



4 Section 4
SCALE 1 : 100



5 Section 5
SCALE 1 : 100

LEGEND:
--- EXISTING GROUND LEVEL
TO BE REMOVED
--- NEW GROUND LEVEL



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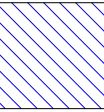
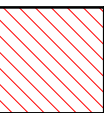



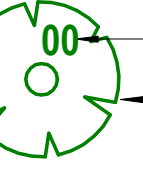
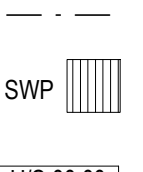


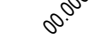
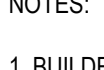
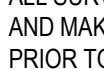
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17-21 KIMBERLEY STREET, MERRYLANDS, NSW
LOTS 206, 207, 208 IN DP926

TITLE
SECTION 2 - RETAINING
WALLS
FILE PLOTTED

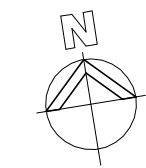
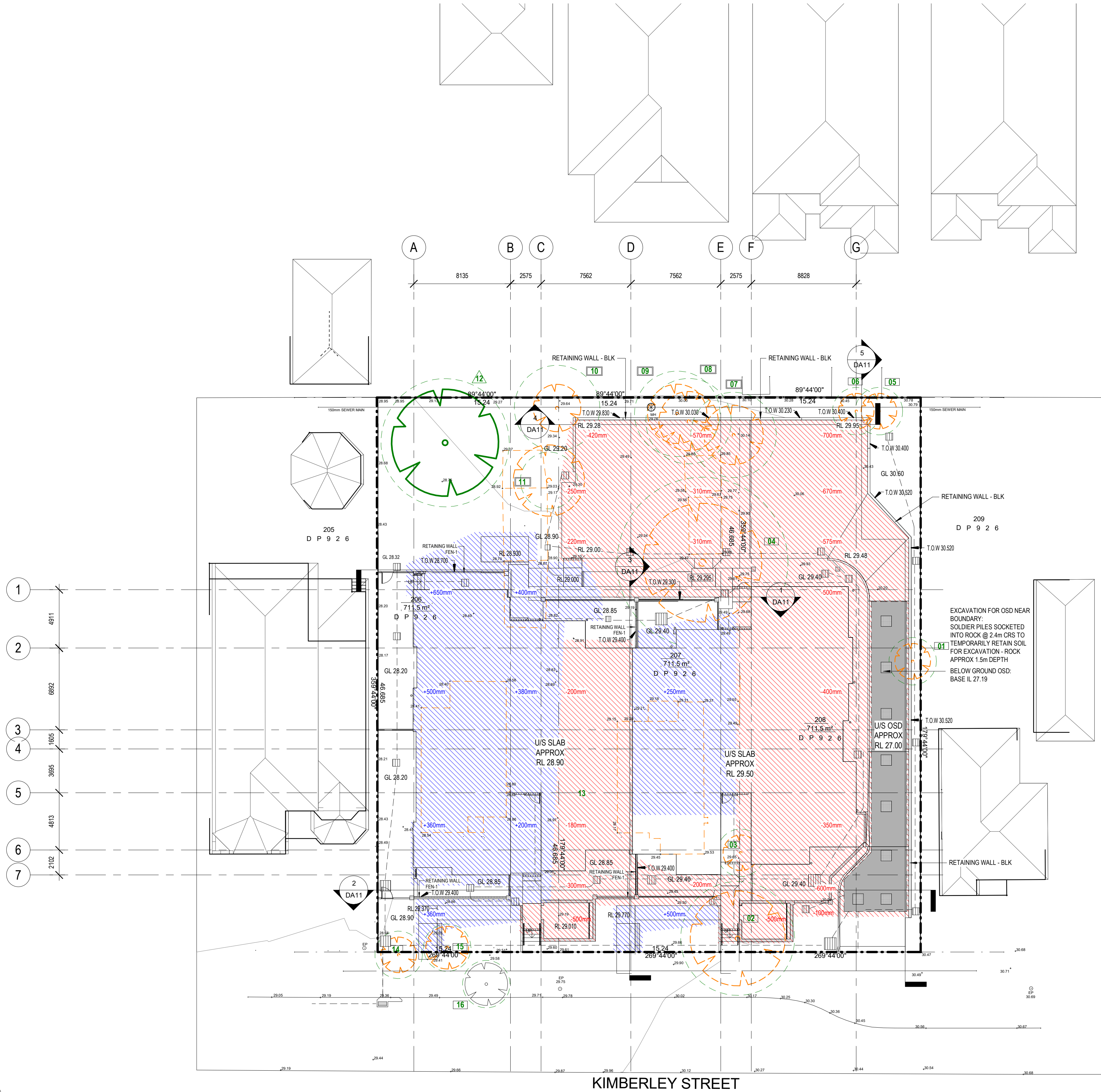
STATUS
PART 5
DATE 18-04-23
SCALE 1:100
STAGE A1
PROJECT No BGYF2
PROJ MB
DESIGNER AG
CHECKED MB
REV E

LEGEND:

-  AREA OF FILL (APPROX)
-  AREA OF CUT (APPROX)
-  OUTLINE OF BUILDING SLABS
-  EXISTING BUILDINGS TO BE DEMOLISHED
-  EXISTING TREES TO BE DEMOLISHED
-  TREE NUMBER FROM ARBORIST REPORT
-  EXISTING TREES TO REMAIN
-  SW DRAINAGE (REFER TO CIVIL PLAN)
-  STORMWATER PIT
-  PROPOSED UNDERSIDE OF SLAB LEVEL (APPROX)
-  PROPOSED FINISH GROUND RL (APPROX)
-  EXISTING GROUND LEVELS (FROM SURVEY)

NOTES:

1. BUILDER TO VERIFY ALL PROPOSED LEVELS FOR EXCAVATION, ALL SURVEY INFORMATION, INCLUDING SERVICES AND LEVELS AND MAKE ADJUSTMENTS TO SUIT FINISHED REDUCED LEVELS PRIOR TO EXCAVATION COMMENCING
2. BUILDER TO VERIFY ALL ABOVE GROUND / INGROUND POND, POOLS, WATER TANKS & SEPTIC TANKS ON SITE. AFTER DEMOLITION & REMOVAL OF THESE ITEMS, BUILDER TO INFILL HOLE TO NATURAL GROUND LEVEL OR INFILL TO REQUIRED LEVEL FOR CONSTRUCTION.
3. EXTENT OF CUT AND FILL AREAS SHOWN SHADED ARE INDICATIVE FOR BULK EXCAVATION ONLY. CONTRACTOR TO VERIFY ON SITE.



1 CUT AND FILL PLAN
SCALE 1 : 200



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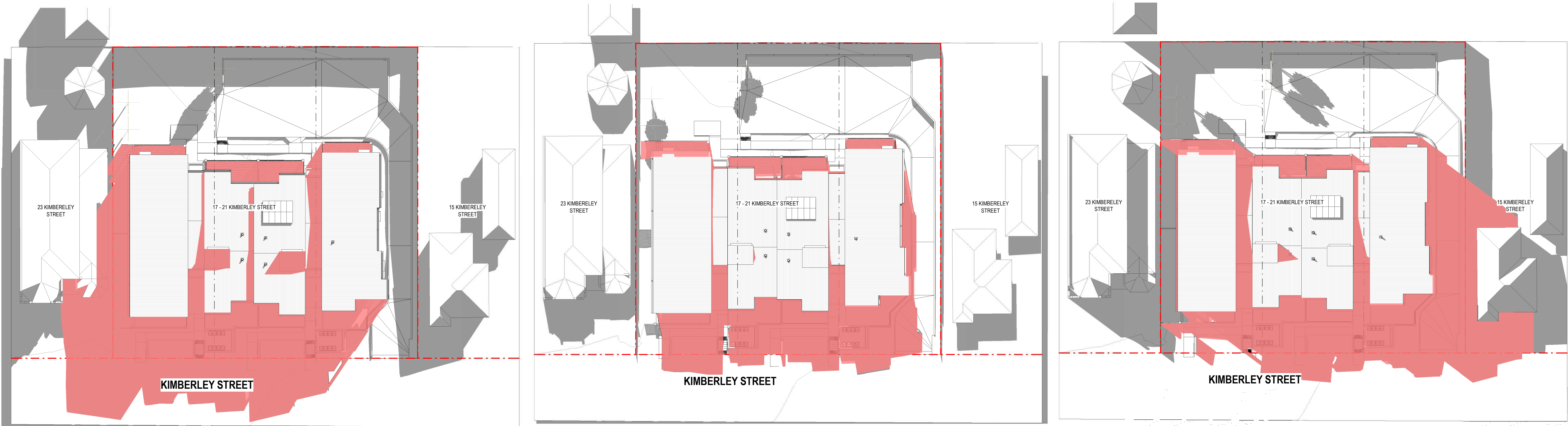
TITLE
CUT AND FILL PLAN

FILE

PLOTTED

STATUS	PART 5		PROJECT No
DATE	18-04-23	SCALE	1:200
STAGE	A1	PROJ	MB
TYPE	AG	DESIGNER	AG
	DA12	DRAWN	MB
		REV	E

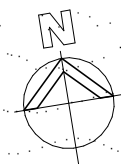




1 SHADOW IMPACT - JUNE 21 9AM
SCALE 1:300

2 SHADOW IMPACT - JUNE 21 12PM
SCALE 1:300

3 SHADOW IMPACT - JUNE 21 3PM
SCALE 1:300



GREY AREA INDICATES EXISTING SHADOWS CAST BY NEIGHBOURING PROPERTIES

PINK AREA INDICATES SHADOWS CAST BY PROPOSED DEVELOPMENT



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TITLE
SHADOW DIAGRAM

FILE

PLOTTED

STATUS	PART 5	PROJECT No	BGYF2
DATE	18-04-23	PROJ	MB
STAGE	A1	DESIGNER	AG
TYPE	DA13	DESIGNED	MB
SHEET		REV	E



1 | VIEW FROM SUN 21 JUNE 9AM
SCALE



4 | VIEW FROM SUN 21 JUNE 12PM
SCALE



2 | VIEW FROM SUN 21 JUNE 10AM
SCALE



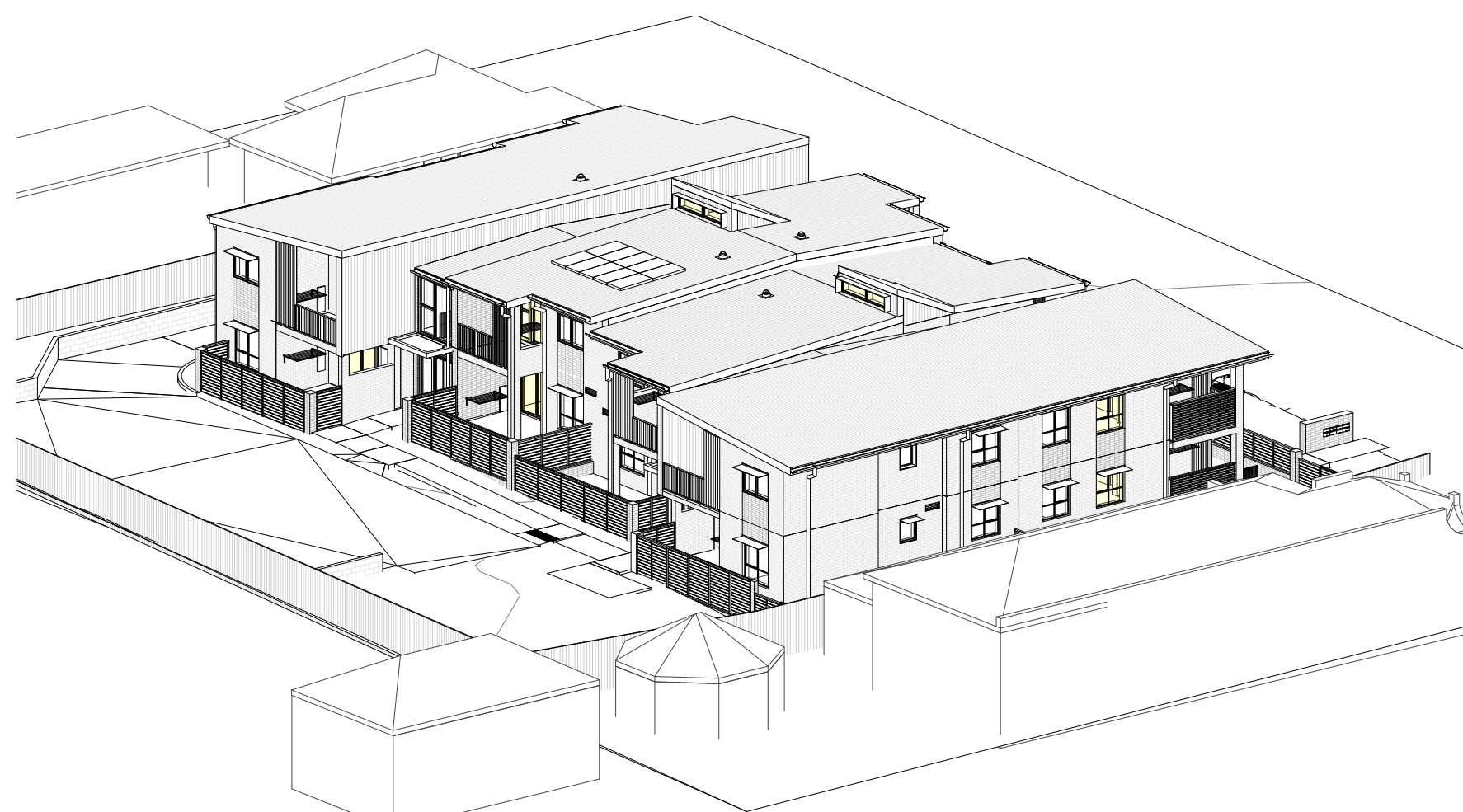
5 | VIEW FROM SUN 21 JUNE 1PM
SCALE



3 | VIEW FROM SUN 21 JUNE 11AM
SCALE



6 | VIEW FROM SUN 21 JUNE 2PM
SCALE



7 | VIEW FROM SUN 21 JUNE 3PM
SCALE

WINTER SOLAR ACCESS SUMMARY					2 HRS MIN	3 HRS MIN
UNIT	LIVING AREAS		P.O.S			
01	9AM - 11AM	2 HRS	9AM - 11AM	2 HRS	✓	
02	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓	✓
03	-	- HRS	-	- HRS		
04	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓	✓
05	-	- HRS	-	- HRS		
06	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓	✓
07	12.30PM - 3PM	2.5 HRS	12.30PM - 3PM	2.5 HRS		
08	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓	✓
09	9AM - 11AM	2 HRS	9AM - 11AM	2 HRS	✓	
10	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓	✓
11	9AM - 3PM (CLERESTORY)	6 HRS	10AM - 10.30AM	0.5 HRS		
12	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓	✓
13	9AM - 3PM (CLERESTORY)	6 HRS	12PM - 1PM	1 HRS		
14	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓	✓
15	12.30PM - 3PM	2.5 HRS	12.30PM - 3PM	2.5 HRS	✓	
16	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓	✓



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NOMINATED ARCHITECT:
MICHAEL BULLEN

SIGNATURE:

E 18-04-23 PART 5 ISSUE
D 27-03-23 PART 5 ISSUE
C 03-03-23 PART 5 FOR REVIEW
B 09-02-23 ISSUE FOR REVIEW
A 21-11-22 ISSUE FOR REVIEW
REV DATE NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
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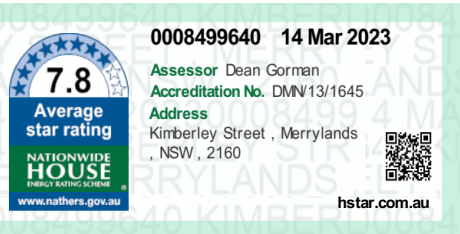
ARCHITECT
BREWSTER MURRAY PTY LTD
BCA CONSULTANT

CONSULTING ENGINEERS
GREENVIEW CONSULTING
LANDSCAPE CONSULTANT
GREENLAND DESIGN

CLIENT
NSW PLANNING & ENVIRONMENT
LAND & HOUSING CORPORATION

PROJECT
RESIDENTIAL FLAT DEVELOPMENT UNDER
SEPP (HOUSING) 2021
17-21 KIMBERLEY STREET, MERRYLANDS, NSW
LOTS 206, 207, 208 IN DP926

TITLE
VIEW FROM SUN DIAGRAM
FILE PLOTTED



STATUS
PART 5
DATE 18-04-23
SCALE NTS
STAGE MB
SHEET A1
DESIGNER AG
CHECKED MB
REV E



FB-1: EAST BRICK FACADE
LIGHT BROWN WITH NATURAL VARIATION



FB-2: WEST BRICK FACADE
OFF-WHITE BRICK

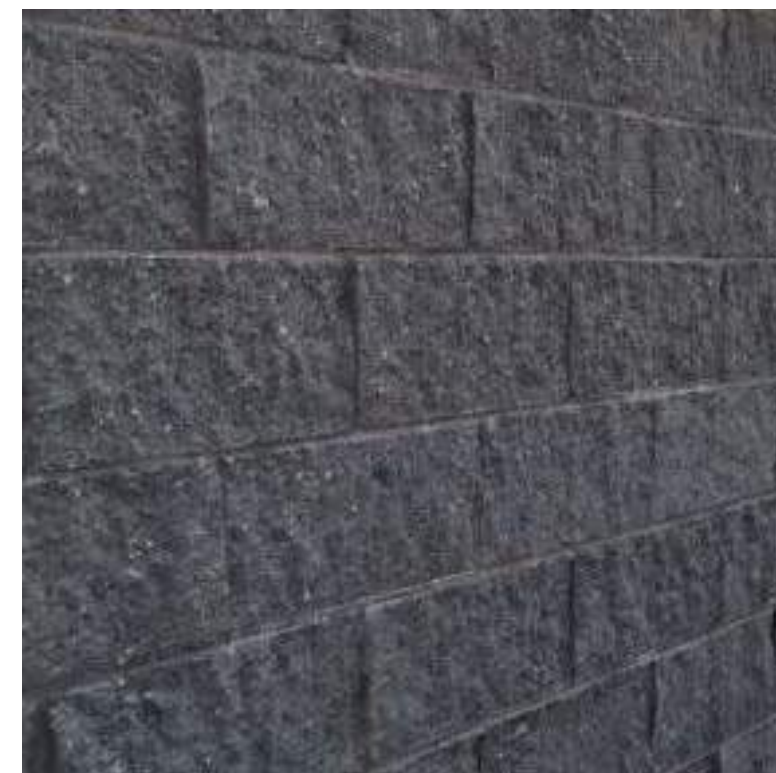


FB-3, FEN-1: FEATURE BRICK
DARK GREY



FEN-3: SLATTED PRIVACY FENCES
WF, DF: WINDOW & DOOR FRAMES
SS1: SUN SHADES, LVR1 & LVR3
LOUVRES, PF1 PAINT FINISH
DARK GREY

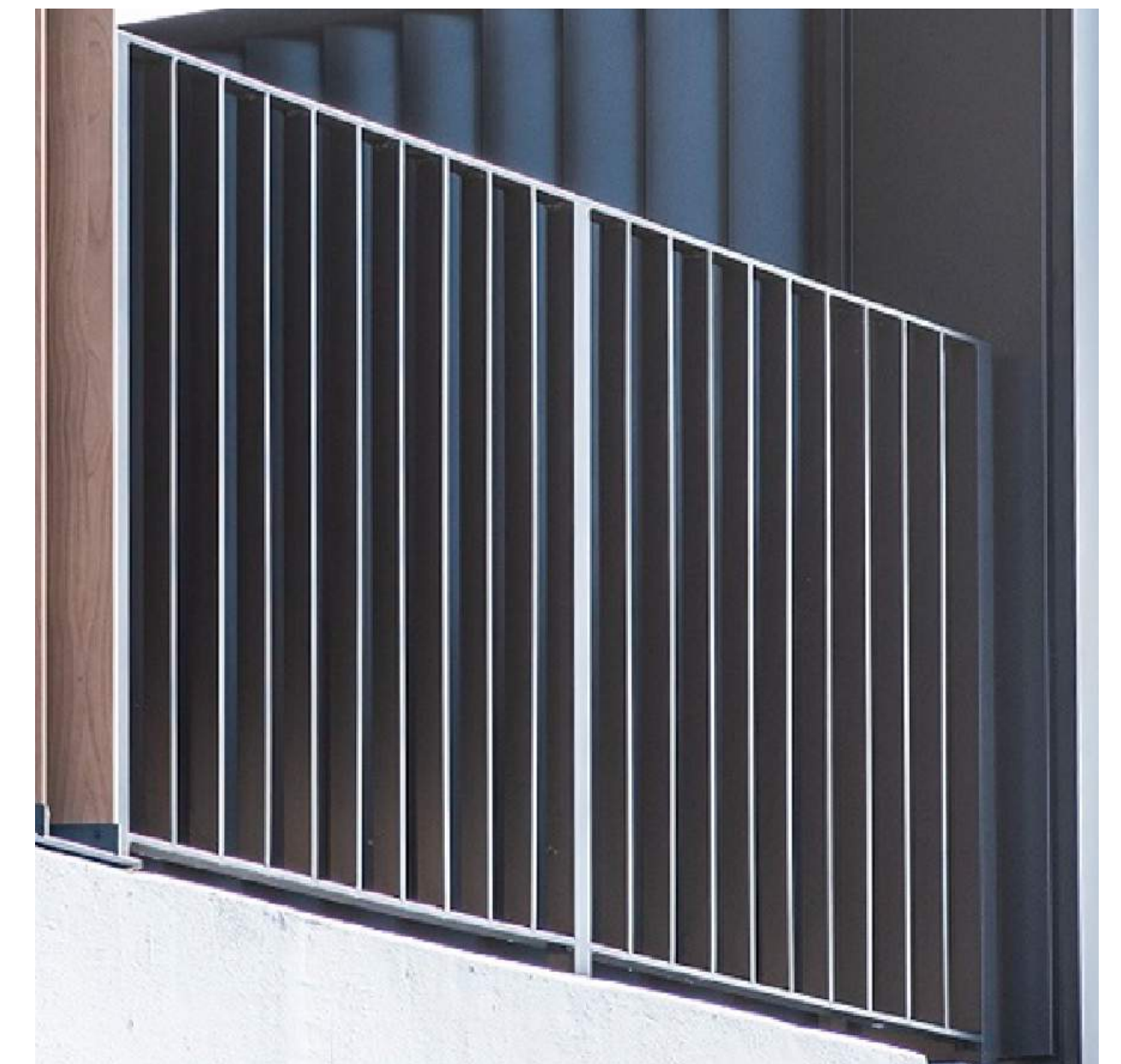
MR1: METAL ROOF
FEN-2: BOUNDARY FENCES
G, DP, ALL ROOF EDGE
GUTTERS AND DOWNPIPES
LIGHT GREY



BLK - RETAINING WALLS
SPLIT FACE BLOCK - DARK GREY

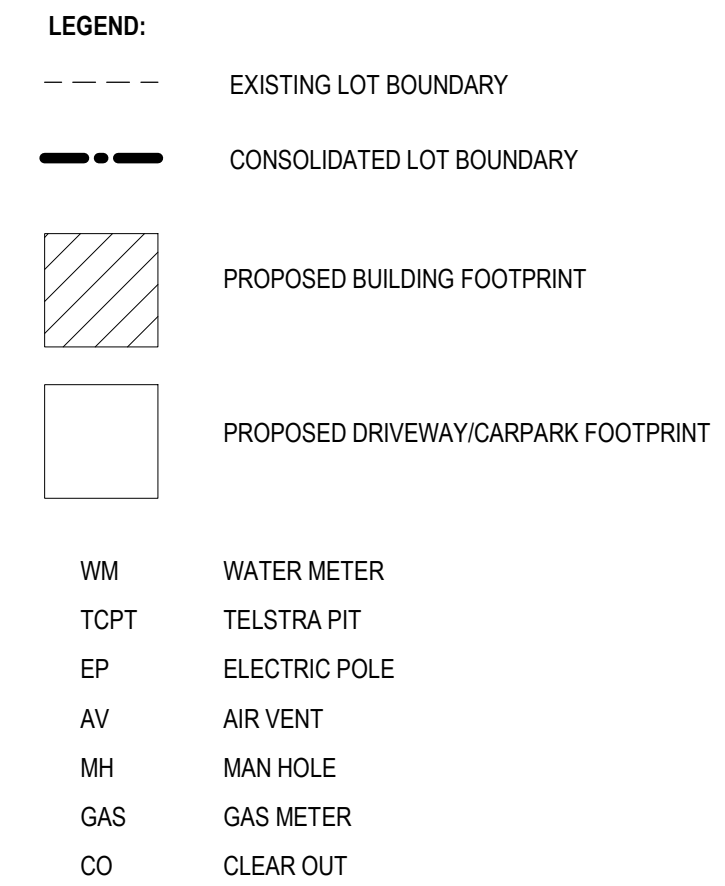


LRV2: PRIVACY LOUVRES
WOOD LOOK ALUMINIUM



BAL-1: BALUSTRADES
GREY SEMI-OPAQUE





0008499640 14 Mar 2023
 Assessor Dean Gorman
 Accreditation No. DMIN13/1645
 Address
 Kimberley Street, Merrylands
 NSW, 2160
 www.nateths.gov.au
 hstar.com.au

NOMINATED ARCHITECT:	SIGNATURE:			
MICHAEL BULLEN				
		A	27-03-23	PART 5 ISSUE
		REV	DATE	NOTATION/AMENDMENT
		DO NOT SCALE DRAWINGS, CHECK ALL DIMENSIONS ON SITE FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT
BREWSTER MURRAY PTY LTD
BCA CONSULTANT

CONSULTING ENGINEERS	GREENVIEW CONSULTING
LANDSCAPE CONSULTANT	GREENLAND DESIGN

PROJECT
RESIDENTIAL FLAT DEVELOPMENT UNDER
SEPP (HOUSING) 2021

17-21 KIMBERLEY STREET, MERRYLANDS, NSW
LOTS 206, 207, 208 IN DP926











TITLE	
LOT CONSOLIDATION PLAN	
FILE	PLOTTED

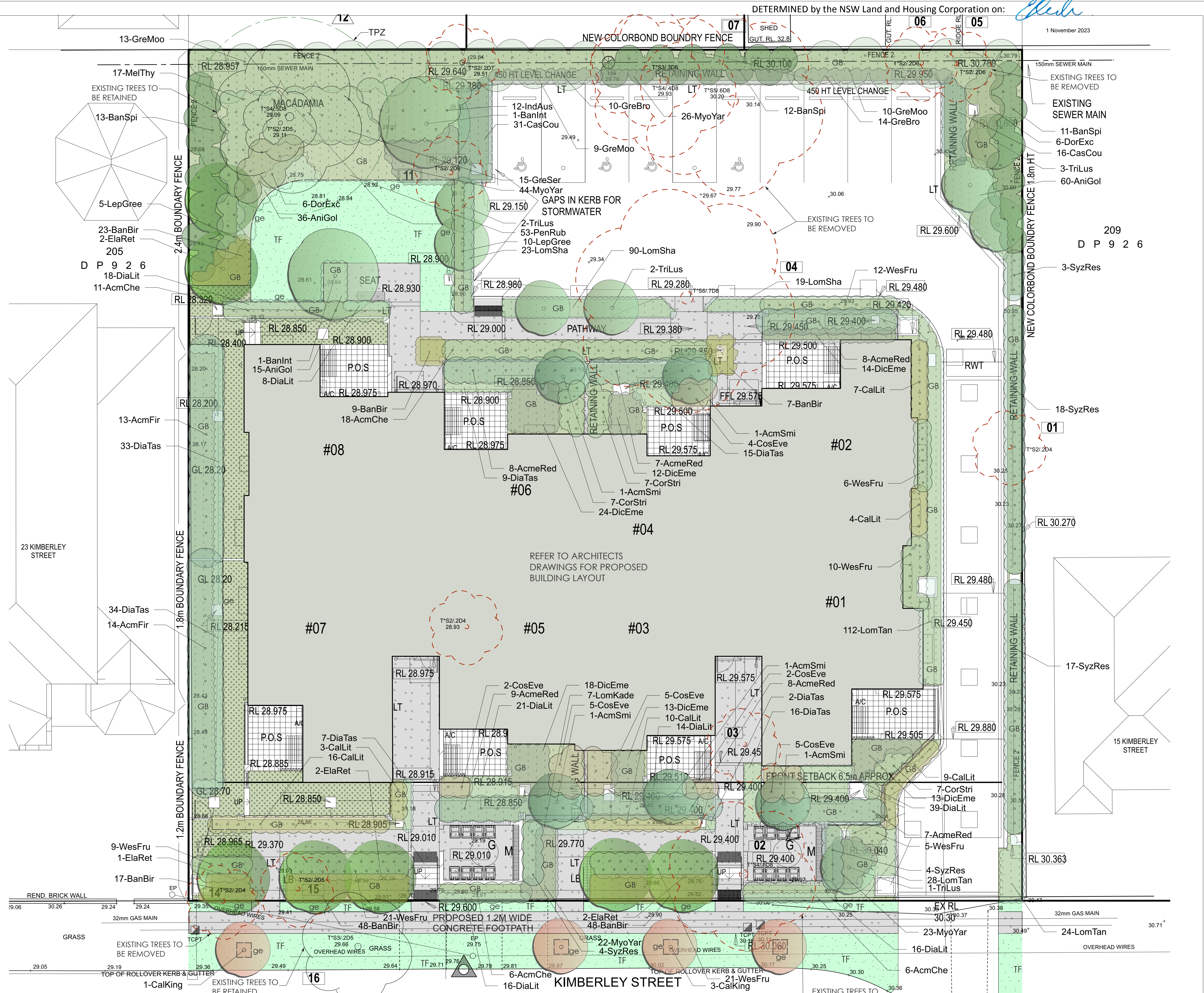
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DATE 27-03-23		SCALE 1:150		PROJECT No MB BGYF2	
STAGE		SHEET SIZE A1		DESIGNER AG CHECKED MB	
TYPE		SHEET DA16			REV A



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209
D P 9 2 6

- | | |
|---|--|
|  | Existing trees to be retained
Refer Arborist Report |
|  | Existing trees to be removed
Refer Arborist Report |
|  | Proposed tree plantings |
|  | Proposed shrub buffer plantings |
|  | Concrete path pavement |
|  | Non slip tiles pavement |
|  | Proposed garden bed |
|  | Proposed turfed area |
|  | Proposed mulched area |
|  | Concrete garden edge |



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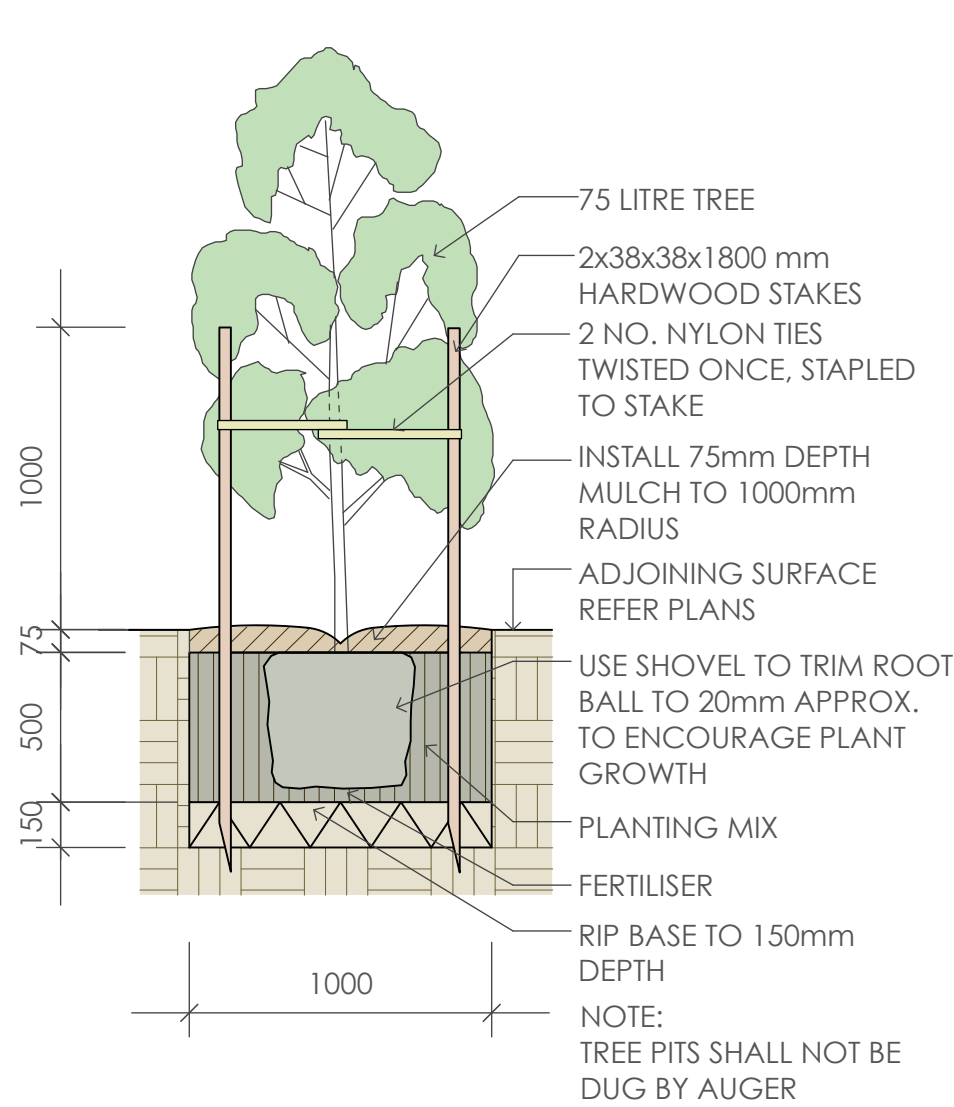
E	24/04/2023	PART 5	ARCHITECT
D	03/04/2023	PART 5	BREWSTER MURRAY PTY LTD PH (02) 9299 0988
C	28/03/2023	PART 5	PROJECT MANAGER
B	27/02/2023	PART 5 FOR REVIEW	LAND & HOUSING CORPORATION PH (02) 8753 9000
A	02/08/2021	SKETCH	
REV	DATE	NOTATION/AMENDMENT	LANDSCAPE CONSULTANT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.			GREENLAND DESIGN PTY LTD

PROJECT: RESIDENTIAL FLAT DEVELOPMENT
UNDER SEPP (HOUSING) 2021
17-21 KIMBERLEY STREET MERRYLANDS NSW
LOTS 206,207,208 IN DP926

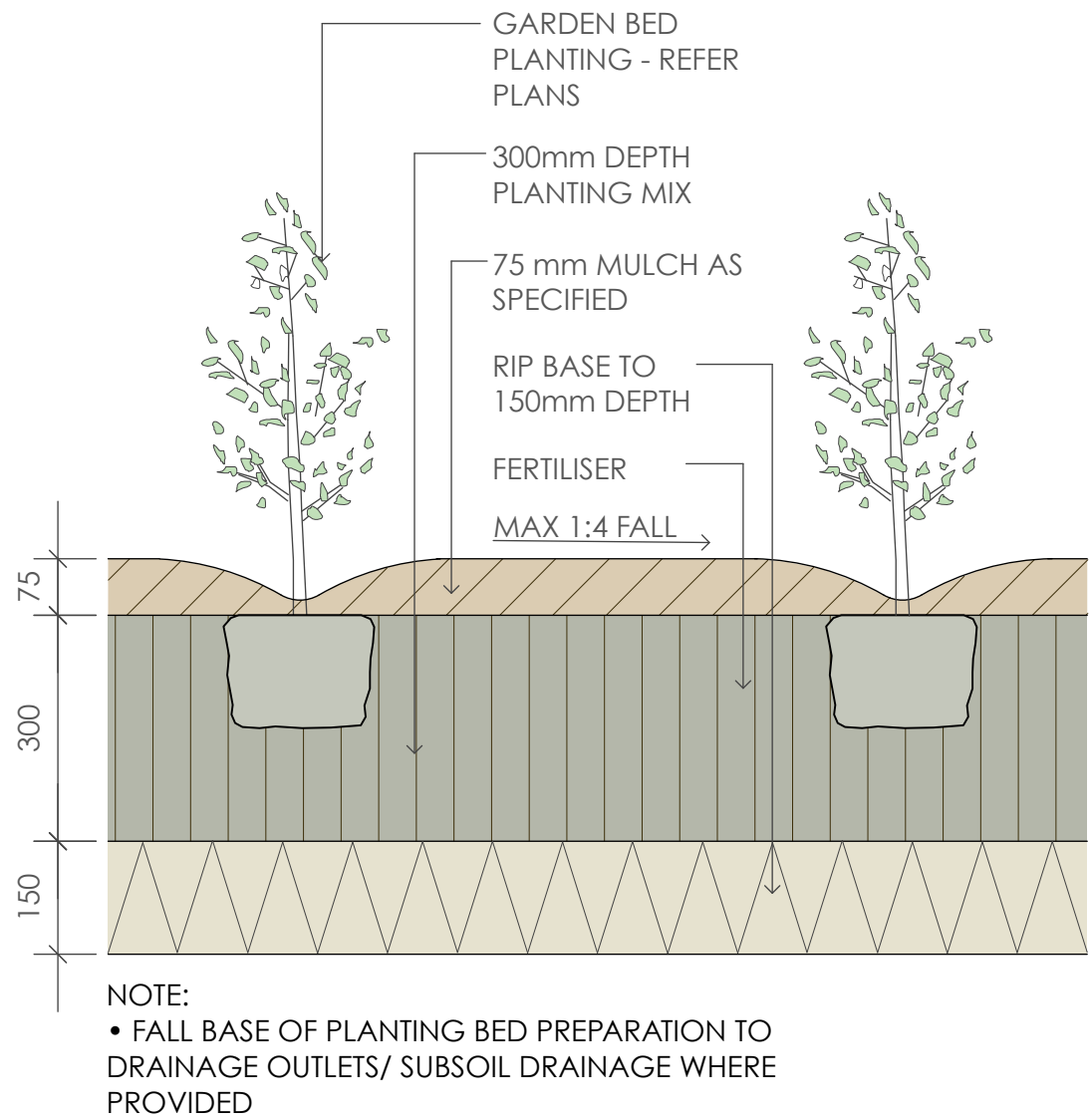
LANDSCAPE PLAN

FILE: 2606	PLOTTED:	TYP: LA	SHEET: 1 of 2	REV: E
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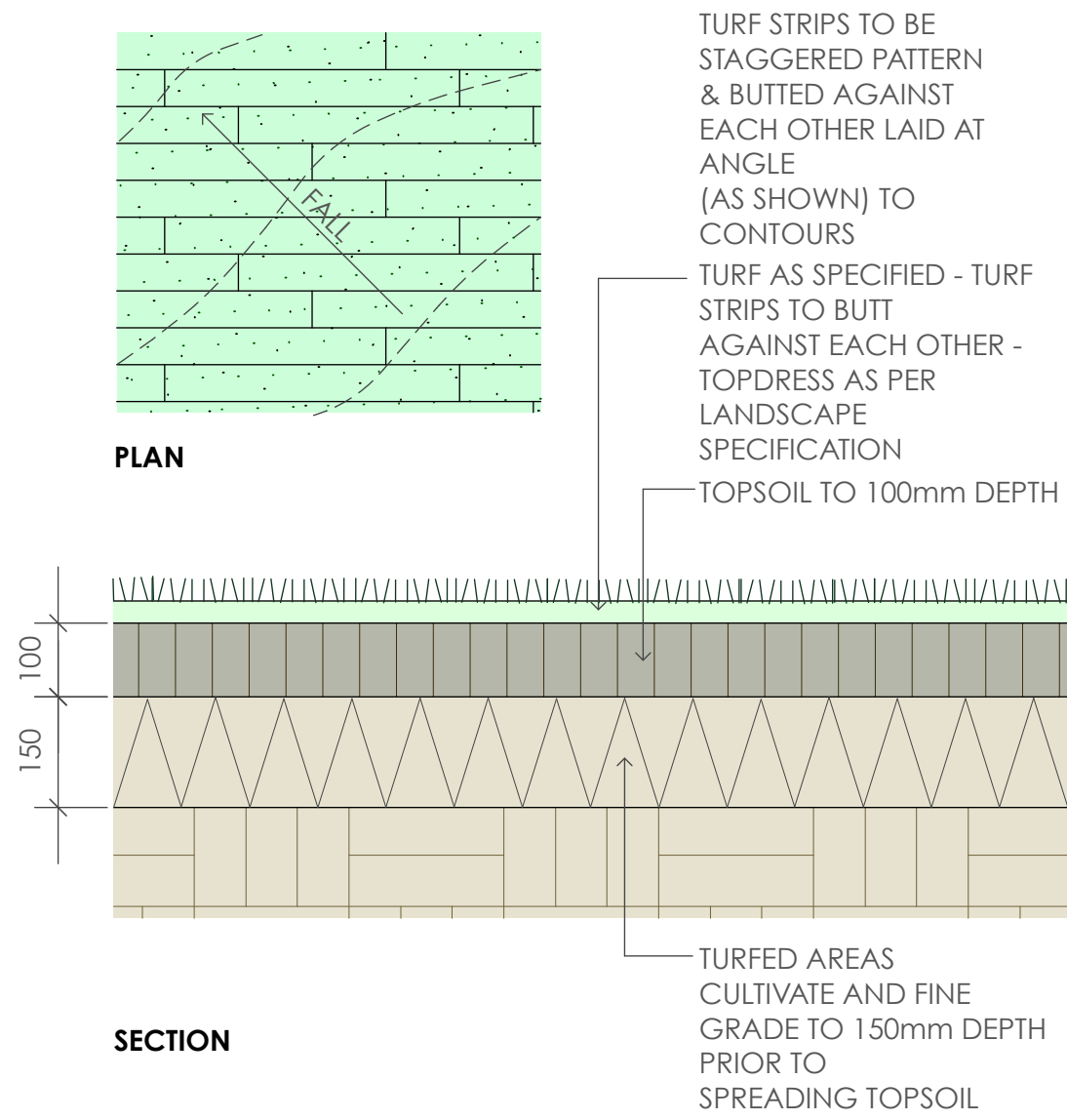
STATUS: PART 5			
DATE: 24/04/2023	SCALE: 1:100	PROJ:	PROJECT No. BGYF2
STAGE:	DRAWN: CL	CHECKED: GD	NOMINATED ARCHITECT: <i>Buse</i>
TYP: LA	SHEET: 1 of 2		REV: E



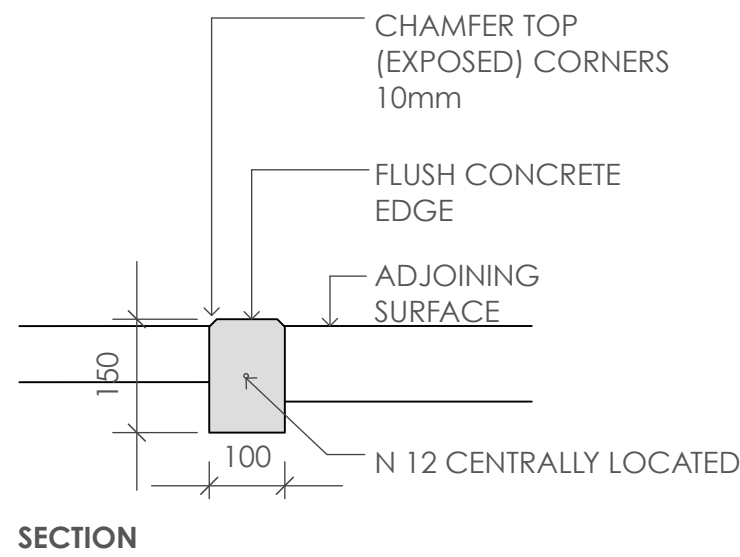
1 75 Litre Tree Planting
scale 1:25



2 Planting Bed Detail
scale 1:10



3 Turfing
scale as shown



4 Concrete Edge
scale 1:10

Plant Schedule							
ID	Qty	Common Name	Botanical Name	Size	Mature Height	Mature Spread	Native (N)
Trees							
AcmSmi	5	Lillypilly	Acmena smithii	75Litre	3 - 5m	1 - 3m	N
BanInt	2	Coastal Banksia	Banksia integrifolia	75Litre	6 - 8m	5 - 7m	N
CalKing	4	Bottlebrush	Callistemon 'Kings Park Special'	75Litre	3 - 6m	2.0 - 3.5m	N
ElaRet	7	Blueberry Ash	Elaeocarpus reticulatus	75Litre	6 - 9m	3 - 4m	N
TriLus	8	Water Gum	Tristanopsis laurina 'Luscious'	75Litre	6 - 8m	3.5 - 6m	N
Shrubs							
AcmChe	41	Forest Flame	Acmena 'Cherry Surprise'	300mm	3.0 - 5.0m	1.2 - 1.5m	N
AcmeRed	47	Red Head Lilly Pilly	Acmena smithii 'Red Head'	300mm	5 - 6m	3.0 - 4.0m	N
AcmeFir	27	Fire Screen Lilly Pilly	Acmena smithii 'Fire Screen'	300mm	2 - 4m	1 - 1.5m	N
BanSpi	36	Hairpin Banksia	Banksia spinulosa	300mm	2.0 - 3.0m	1.5 - 2.0m	N
CalLit	49	Little John	Callistemon 'Little John'	300mm	0.9 - 1.5m	0.9 - 1.2m	N
CorStri	21	Narrow Palm Lily	Cordyline stricta congesta	300mm	1 - 2m	0.8 - 1.0m	N
CosEve	23	Evening Glow Mirror Plant	Coprosma 'Evening Glow'	300mm	1.2 - 1.5m	0.9 - 1.2m	N
DorExc	12	Gymea Lily	Doryanthes excelsa	300mm	1.5 - 2m	1.2 - 2.0m	N
GreMoo	32	Grevillea	Grevillea 'Moonlight'	300mm	4.0 - 5.0m	2.0 - 4.0m	N
GreSer	15	Pink Spider Flower	Grevillea sericea	300mm	0.9 - 1.5m	0.9 - 1.2m	N
IndAus	12	Australian Indigo	Indigofera australis	300mm	1.5 - 3m	2.0 - 3.5m	N
LepGree	15	Green Screen Leptospermum	Leptospermum 'Green Screen'	300mm	1.2 - 1.5m	1.2 - 1.5m	N
MellThy	17	Thyme Honey-myrtle	Melaleuca thymifolia	300mm	0.75 - 0.9m	0.6 - 0.9m	N
SyzRes	46	Resilience Lilly Pilly	Syzygium 'Resilience'	300mm	2 - 3m	1.2 - 2.0m	N
WesFru	84	Jervis Gem	Westringia fruticosa 'Jervis Gem'	300mm	0.8 - 1.2m	0.8 - 1.2m	N
Ground Covers							
DiaTas	116	Flax Lily	Dianella tasmanica 'Tasred'	150mm	0.4 - 0.5m	0.4 - 0.5m	N
LomKade	7	Katrinus Deluxe Mat-Rush	Lomandra longifolia 'Katrinus Deluxe'	150mm	0.75 - 0.9m	0.9 - 1.2m	N
MyoYar	115	Carpet Spreading Myoporum	Myoporum parvifolium 'Yareena'	150mm	0.05 - 0.1m	0.8 - 1.0m	N
LomTan	164	Spiny-headed mat rush	Lomandra longifolia 'Tanika'	150mm	0.45 - 0.6m	0.6 - 0.9m	N
LomSha	132	Shara Mat Rush	Lomandra longifolia 'Shara'	150mm	0.45 - 0.55m	0.5 - 0.6m	N
DicEme	94	Emerald Falls Dichondra	Dichondra 'Emerald Falls'	150mm	0.0 - 0.3m	0.9 - 1.2m	N
AniGol	111	Kangaroo Paw 'Gold Velvet'	Anigozanthos 'Gold Velvet'	150mm	0.5 - 0.6m	0.3 - 0.5m	N
CasCou	47	Cousin It	Casuarina 'Cousin It'	150mm	0.10 - 0.15m	0.8 - 1.0m	N
GreBro	24	Bronze Rambler Grevillea	Grevillea 'Bronze Rambler'	150mm	0 - 0.2m	2.0 - 3.0m	N
PenRub	53	Purple Fountain Grass	Pennisetum 'Rubrum'	150mm	1 - 1.5m	0.5 - 0.9m	N
DiaLit	132	Spreading Flax Lily	Dianella revoluta 'Little Rev'	150mm	0.3 - 0.45m	0.3 - 0.6m	N
BanBir	152	Birthday Candle	Banksia spinulosa 'Birthday Candle'	150mm	0.45 - 0.6m	0.9 - 1.2m	N

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:

Planting mix for tree pit backfill shall be "Organic Garden Mix" consisting of
50% Black Soil
20% Coarse Sand
30% Organic Material

as available from Australian Native Landscapes, Phone: [02] 9450 1444, or approved equivalent. Samples shall be provided to the Superintendent prior to ordering or delivery to site. Any material delivered to site, that is rejected by the Superintendent, shall be removed by the contractor at his own expense. Minimum depths of mix to all planting bed areas is as specified on details.

Mulch:

Mulch to garden bed:

Mulch shall mean hardwood mulch (25mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded hardwood mulch to be supplied by Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

Spread mulch so that after settling, it is:

- smooth and evenly graded between design surface levels;
- flush with adjacent finished levels;
- of the required depths (75mm); and
- sloped towards the base of plant stems in plantation beds, but not in contact with the stem (not closer than 50mm in the case of gravel mulches).

Place after the preparation of the planting bed, planting and all other work.

Plant Material:

All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

Plants are available from **Andreasens Green** wholesale nursery, contact Darren (02) 8777 4713, email darren@andreasensgreen.com.au or approved equivalent.

Turfed areas:

All new turfed areas are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly butted with staggered joints, flush with adjacent surfaces and have even running falls to all drainage points.

All new turfed area shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to turfing.

PREPARATION AND HARDWORKS

Excavating for Spot Planting

To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Staking

Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

- 75 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie
- TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

Concrete Edge

MATERIALS: Concrete to be off white colour.

INSTALLATION: Supply and install 150 x 100mm (width) reinforced flush concrete kerb to locations as approved on site by the Superintendent. Provide flexible joints at maximum 3 metre intervals in colour to match concrete. Lightly expose aggregate through rinsing / sponging. Tool finish exposed edges with 10mm pencil round to prevent chipping.

MAINTENANCE / PLANT ESTABLISHMENT

Maintenance shall apply to all hard and soft landscape materials installed prior to the "handover" and acceptance by Principles Representative and the Site Superintendent. The maintenance period shall convenience at the granting of practical completion and shall extend for 12 months.

Maintenance shall consist of the following works:

- Follow a daily watering programme to be approved by Superintendent. Water all plants individually, twice per week or when necessary to ensure constant plant growth. Water all turf and native grassed areas, twice per week.
- Apply appropriate weed control sprays and hand weed as required to maintain planting areas, native grassing bed areas, turfed areas, paved areas, and tree pits in turf free of weed or rogue grass growth.
- Regularly tidy and top up mulch and trim edges to prevent spill over onto paved / grassed areas.
- Spray to control pests and diseases.
- Replace plants, which fail with plants of a similar size and quality as originally specified to approval of Superintendent. Costs of replacement shall be the responsibility of the Contractor. Replacement planting will be undertaken within 2 weeks of identification of dead material or instruction be the Superintendent.
- Report any incidence of plants stolen or destroyed by vandalism.
- Adjust stakes and ties to plants as necessary. Ensure that strangulation of plants does not occur.
- Prune and shape plants as directed or where necessary.
- Make good any defects or faults arising out of defective workmanship or materials.
- Fertilise lawn areas to maintain healthy growth.
- Make good any erosion or soil subsidence, which may occur including soft areas in pathways.
- Mow lawn to maintain neat healthy growth.
- A final inspection shall be made by the Superintendent before handover. Any items requiring rectification shall be repaired before the works are finally approved, and retention moneys released.

NOTE:

- All finished levels are to be verified by Contractor on site.
- All landscape works be in strict accordance with Council's landscape code and guidelines
- This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.

GREENLAND DESIGN												
TWELVE MONTHS MAINTENANCE SCHEDULE	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Plant Care												
Monitoring												
Pruning as required												
Deadhead /tip pruning												
Slow release fertilise												
Rapid soluble fertilise as required												
Cut back perennials and grasses												
Watering as required												
Garden Bed												
Edging												
Remove weeds and herbicide spraying as required												
Top up mulch as required												
Dead foliage removal												
Pest Management												
Monitoring and herbicide spraying as required												
Turfed Area												
Fertilise												
Make good turf as required												
Winter clean up												
Remove dead foliage and pruning as required												



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E	24/04/2023	PART 5
D	03/04/2023	PART 5
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ARCHITECT	BREWSTER MURRAY PTY LTD
PROJECT MANAGER	LAND & HOUSING CORPORATION
LANDSCAPE CONSULTANT	GREENLAND DESIGN PTY LTD

PROJECT:	RESIDENTIAL FLAT DEVELOPMENT UNDER SEPP (HOUSING) 2021
	17-21 KIMBERLEY STREET MERRYLANDS NSW
	LOTS 206,207,208 IN DP926

TITLE:	LANDSCAPE DETAILS AND SPECIFICATION
--------	-------------------------------------

FILE:	2606
PLOTTED:	

STATUS:	PART 5
DATE:	24/04/2023
SCALE:	1:100
PROJ:	CL
CHECKED:	GD
PROJECT NO.:	BGYF2
HOUSING ARCHITECT:	Greenland Design
REV:	E

PROPOSED DEVELOPMENT

17-21 Kimberly Street, Merrylands, NSW

greenview Job No: 211060

GENERAL NOTES

- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NOMINATED OR APPLICABLE COUNCIL SPECIFICATION.
- THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES ON THE DRAWINGS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN.
- IT IS THE RESPONSIBILITY OF THE TENDERER TO SEEK CLARIFICATION WHERE DOCUMENTATION IS CONFLICTING OR UNCLEAR, WHERE NO CLARITY IS OBTAINED, THE TENDERER IS TO ALLOW FOR BOTH INTERPRETATIONS IN THEIR PRICING.
- CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE PERMISSION OF THE OWNER.
- SURPLUS EXCAVATED MATERIAL SHALL BE PLACED WHERE DIRECTED OR REMOVED FROM SITE.
- ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
- ALL DRAINAGE LINES THOUGH ADJACENT LOTS SHALL BE CONTAINED WITHIN EASEMENTS CONFORMING TO COUNCIL'S STANDARDS.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL PROVIDE A TRAFFIC MANAGEMENT PLAN PREPARED BY AN ACCREDITED PERSON IN ACCORDANCE WITH RMS REQUIREMENTS, FOR ANY WORK ON OR ADJACENT TO PUBLIC ROADS, PLAN TO BE SUBMITTED TO COUNCIL & RMS AS REQUIRED.
- THESE PLANS SHALL BE A READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS.
- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO ANY COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- THE BUILDER IS TO VERIFY ALL LEVELS ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDERGROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
- ALL TERRACE FLOOR AND PLANTER GRATES TO HAVE FIRE COLLARS FITTED EXCEPT FOR CLASS 1 BUILDINGS
- ALL PITS HAVING AN INTERNAL DEPTH THAT EXCEEDS 1.0m SHALL BE PROVIDED WITH GALVANIZED STEP IRONS AT 300 mm CENTRES PLACED IN A STAGGERED PATTERN AND SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AS4198-1994.
- ALL MUCKING TO BE USED WITHIN THE AREA DESIGNATED AS ON SITE DETENTION STORAGE SHALL BE OF A NON-FLOATABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL, BARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
- PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- GREENVIEW IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY INFORMATION PROVIDED ON THIS DRAWING.
- ALL LEVELS SHOWN ARE EXPECTED TO BE TO A.H.D.
- ALL CHAINAGES AND LEVELS ARE IN METERS, AND DIMENSIONS IN MILLIMETRES, UNLESS NOTED OTHERWISE.
- THE SURVEY INFORMATION ON THIS DRAWING HAS BEEN PROVIDED BY THE ARCHITECT.
- CONTRACTORS SHALL ARRANGE FOR THE WORKS TO BE SET OUT BY A REGISTERED SURVEYOR.
- W A E DRAWINGS BY A REGISTERED SURVEYOR ARE REQUIRED PRIOR TO CERTIFICATION OF DRAINAGE.
- WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES WITHOUT WRITTEN APPROVAL.
- WATER TREATMENT DEVICES TO BE STRICTLY COMPLY WITH MANUFACTURER SPECIFICATIONS.

RAINWATER REUSE SYSTEM NOTES

- RAINWATER SUPPLY PLUMBING TO BE CONNECTED TO OUTLETS WHERE REQUIRED BY BASIX CERTIFICATE (BY OTHERS).
- NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE RAINWATER SUPPLY.
- PROVIDE AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT THE RAINWATER TANK.
- PROVIDE AT LEAST ONE EXTERNAL HOSE COCK ON THE TOWN WATER SUPPLY FOR FIRE FIGHTING.
- PROVIDE APPROPRIATE FLOAT VALVE AND/OR SOLENOID VALVES TO CONTROL TOWN WATER SUPPLY INLET TO TANK IN ORDER TO ACHIEVE THE TOP-UP INDICATED ON THE TYPICAL DETAIL.
- ALL PLUMBING WORKS ARE TO BE CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS/NZ3500.1 NATIONAL PLUMBING AND DRAINAGE CODE.
- PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY A LICENSED ELECTRICIAN.
- ONLY ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK SURFACE WATER INLETS ARE NOT TO BE CONNECTED.
- PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS/NZ3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED AS 'RAINWATER'. THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES USING IDENTIFICATION TAPE (MADE IN ACCORDANCE WITH AS2648) OR FOR ABOVE GROUND PIPES BY USING ADHESIVE PIPE MARKERS (MADE IN ACCORDANCE WITH AS1345).
- EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELLED 'RAINWATER' ON A METALLIC SIGN IN ACCORDANCE WITH AS1319.
- ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND VERMIN ENTRY.
- ALL DOWNPIPES CHARGED TO THE RAINWATER TANK ARE TO BE SEALED UP TO GUTTER LEVEL AND BE PRESSURE TESTED AND CERTIFIED.
- TOWN WATER CONNECTION TO RAINWATER TANK TO BE TO THE SATISFACTION OF THE REGULATORY AUTHORITY. THIS MAY REQUIRE PROVISION OF
 - PERMANENT AIR GAP
 - BACKFLOW PREVENTION DEVICE

SAFETY IN DESIGN NOTES

THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING. WE NOTE THIS DESIGN IS TYPICAL OF SIMILAR DESIGNS, AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS. GREENVIEW ASSESSMENT DID NOT IDENTIFY ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN.

EARTHWORK NOTES

- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES AND DEBRIS ETC. TO THE EXTENT OF THE PROPOSED DEVELOPED AREA.
- PROVIDE PROTECTION BARRIERS TO PROTECTED/SENSITIVE AREAS PRIOR TO ANY BULK EXCAVATION.
- OVER FULL AREA OF EARTHWORKS, CLEAR VEGETATION, RUBBISH, SLASS ETC. AND STRIP TOP SOIL AVERAGE 200mm THICK. REMOVE FROM SITE, EXCEPT TOP SOIL FOR RE-USE.
- CUT AND FILL OVER THE SITE TO LEVELS REQUIRED.
- PRIOR TO ANY FILLING IN AREAS OF CUT OR IN EXISTING GROUND, PROOF ROLL THE EXPOSED SURFACE WITH A ROLLER OF MINIMUM WEIGHT OF 5 TONNES WITH A MINIMUM OF 10 PASSES.
- EXCAVATE AND REMOVE ANY SOFT SPOTS ENCOUNTERED DURING PROOF ROLLING AND REPLACE WITH APPROVED FILL COMPACTED IN LAYERS. THE WHOLE OF THE EXPOSED SUBGRADE AND FILL SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT $\pm 2\%$.
- FOR ON SITE FILLING AREAS, THE CONTRACTOR SHALL TAKE LEVELS OF EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING FILL OPERATIONS.
- WHERE HARD ROCK IS EXPOSED IN THE EXCAVATED SUB-GRADE, THIS WILL BE INSPECTED AND A DECISION MADE ON THE LEVEL TO WHICH EXCAVATION IS TAKEN.
- FILL IN 200mm MAXIMUM (LOOSE THICKNESS) LAYERS TO UNDERSIDE OF BASECOURSE USING THE EXCAVATED MATERIAL AND COMPACTED TO 98% STANDARD (AS 1288.1.1). MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT $\pm 2\%$ SHOULD THERE BE INSUFFICIENT MATERIAL FROM SITE EXCAVATIONS, IMPORT AS NECESSARY CLEAN GRANULAR FILL TO APPROVED DENSITY.
- COMPACTION TESTING SHALL BE CARRIED OUT AT THE RATE OF 2 TESTS PER 1000SQ METRES PER LAYER BY A REGISTERED NATA LABORATORY. THE COSTS OF TESTING AND RE-TESTING ARE TO BE ALLOWED FOR BY THE BUILDER.
- BATTERS TO BE AS SHOWN, OR MAXIMUM 1 VERT : 4 HORIZ.
- ALL CONDUITS AND MAINS SHALL BE LAID PRIOR TO LAYING FINAL PAVEMENT.
- ALL BATTERS AND FOOTPATHS ADJACENT TO ROADS SHALL BE TOP SOILED WITH 150mm APPROVED LOAM AND SEEDED UNLESS OTHERWISE SPECIFIED.

DRAINAGE INSTALLATION

RCP CONVENTIONAL

INSTALLATIONS & ROAD CROSSINGS

- SUPPLY & INSTALLATION OF DRAINAGE WORKS TO BE IN ACCORDANCE WITH THESE DRAWINGS, THE COUNCIL SPECIFICATION AND THE CURRENT APPLICABLE AUSTRALIAN STANDARDS.
- BACKFILL SHALL BE PLACED & COMPACTED IN ACCORDANCE WITH THE SPECIFICATION. A GRANULAR GRAVEL AGGREGATE MATERIAL (<10mm) BACKFILL IS RECOMMENDED FOR THE BEDDING, HAUNCH SUPPORT AND SIDE ZONE DUE TO ITS SELF COMPACTING ABILITY.
- A MINIMUM OF 150mm CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF THE PIPE BARREL AND THE TRENCH WALL FOR PIPES < 600 DIA. 200mm CLEARANCE FOR PIPES 600 TO 1200 DIA AND DIE CLEARANCE FOR PIPES > 1200 DIA.
- BEDDING OF THE PIPELINES IS TO BE TYPE 'HS2' IN ACCORDANCE WITH THE STANDARDS AND AS FOLLOWS:

a. COMPACTED GRANULAR MATERIAL IS TO COMPLY WITH THE FOLLOWING GRADINGS:						
M	19	2.3600	0.6000	0.3000	0.1500	0.0750
% MASS PASSING	100	50-100	20-90	10-60	0-25	0-10

-AND THE MATERIAL PASSING THE 0.075 SIEVE HAVING LOW PLASTICITY AS DESCRIBED IN APPENDIX D OF AS1726.

b. BEDDING DEPTH UNDER THE PIPE TO BE 100mm.

c. BEDDING MATERIAL TO BE EXTENDED FROM THE TOP OF THE BEDDING ZONE UP TO 0.3 TIMES PIPE OUTSIDE DIAMETER. THIS REPRESENTS THE HAUNCH ZONE.

d. THE BEDDING & HAUNCH ZONE MATERIAL IS TO BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 98% WITHIN ROAD RESERVES AND TRAFFICABLE AREAS AND 95% ELSEWHERE FOR COHESIVE MATERIAL OR A MINIMUM DENSITY INDEX OF 70% IN ACCORDANCE WITH THE STANDARDS FOR COHESIONLESS MATERIAL.

e. COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED ORGANISATION WITH A NATA CERTIFIED LABORATORY FOR ALL DRAINAGE LINES LAID WHOLLY OR IN PART UNDER THE KERB & GUTTER OR PAVEMENT

ROOF DRAINAGE

- ALL ROOF DRAINAGE IS TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CURRENT APPLICABLE AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATIONS.
- DOWNPIPES SHOWN ARE INDICATIVE ONLY. REFER ARCHITECTURALS FOR FINAL LOCATIONS.
- ALL DOWNPIPES TO BE CONSTRUCTED OF ONE MATERIAL FOR AESTHETICS REASONS AND PAINTED TO PROTECT THEM AGAINST ULTRA-VIOLET LIGHT DAMAGE, UNLESS APPROVED OTHERWISE BY THE PROJECT ARCHITECT.
- ALL DOWNPIPES TO HAVE LEAF GUARDS.
- ALL EAVES GUTTERS ARE TO BE DESIGNED TO THE 5% AEP (20YR) STORM EVENTS UNO
- ALL EAVES GUTTER OVERFLOWS ARE TO BE IN ACCORDANCE WITH AS3500.3 C3
- ALL BOX GUTTERS ARE TO BE DESIGNED TO CATER TO THE 1% AEP (100YR) STORM EVENTS UNO
- IN ACCORDANCE WITH AS3500.3 CLAUSE 3.7.6 G. BOX GUTTERS SHALL:
 - BE STRAIGHT (WITHOUT CHANGE IN DIRECTION)
 - HAVE A HORIZONTAL CONSTANT WIDTH BASE (SOLE) WITH VERTICAL SIDES IN A CROSS-SECTION.
 - HAVE A CONSTANT LONGITUDINAL SLOPE BETWEEN 1:200 AND 1:40.
 - DISCHARGE AT THE DOWNSTREAM END WITHOUT CHANGE OF DIRECTION (I.E. NOT TO THE SIDE); AND
 - BE SEALED TO THE RAINHEADS AND SUMPS
- GREENVIEW RECOMMENDS THAT THE BUILDER VERIFIES THAT ANY AND ALL BOX GUTTERS HAVE BEEN DESIGNED BY A QUALIFIED CIVIL ENGINEER PRIOR TO THE COMMENCEMENT OF WORKS.
- GREENVIEW RECOMMENDS A SPECIFIC INSPECTION AND CERTIFICATION BY A QUALIFIED CIVIL ENGINEER OF ANY AND ALL BOX GUTTERS INSTALLED ON THE PROJECT PRIOR TO OCCUPATION CERTIFICATE
- ALL DOWNPIPES ARE TO BE PIPE CONNECTED INTO THE FORMAL RAINWATER OR STORMWATER LINE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE.

STORMWATER DRAINAGE NOTES

- STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATION.
- MINIMUM PIT DIMENSIONS ARE TO BE IN ACCORDANCE WITH AS3500.3 TABLE 7.5.2.1 WHICH PROVIDES GUIDANCE ACCORDING TO PIT DEPTH U.N.O.

TABLE 7.5.2.1 MINIMUM INTERNAL DIMENSIONS FOR STORMWATER AND INLET PITS				
Depth to invert of outlet	Minimum internal dimensions mm			Circular
	Rectangular	Length	Diameter	
	Width			
≤450	350	350	—	
≤600	450	450	600	
>600 ≤900	600	600	900	
>900 ≤1200	600	900	1000	
>1200	900	900	1000	

- PIPES OF 225mm DIA. AND UNDER SHALL BE UPVC
- PIPES OF 300mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 RUBBER RING JOINTED UNO.
- ALL FRC OR RCP STORMWATER PIPES WITHIN ROAD RESERVE AREAS TO BE CLASS 3 U.N.O. BY COUNCIL'S SPECIFICATION
- PIPES SHALL GENERALLY BE LAID AT THE GRADES INDICATED ON THE DRAWINGS.
- MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE PAVEMENT IN CARPARK & ROADWAY AREAS UNO
- ALL PIPES LOCATED IN LANDSCAPE AREAS TO HAVE 300mm COVER, WHERE NOT POSSIBLE AND COVER IS BETWEEN 150mm AND 300mm USE SEWER GRADE PIPE.
- PIPES 225mm DIA. AND OVER SHALL BE LAID AT 0.5% MIN. GRADE U.N.O.
- PIPES UP TO 150mm DIA. SHALL BE LAID AT 1.0% MIN. GRADE U.N.O
- BACKFILL TRENCHES WITH APPROVED FILL COMPACTED IN 200mm LAYERS TO 98% OF STANDARD DENSITY
- ANY PIPES OVER 165 GRADE SHALL HAVE CONCRETE BULKHEADS AT ALL JOINTS
- THE MINIMUM SIZES OF THE STORMWATER DRAINAGE PIPES SHALL NOT BE LESS THAN 90mm DIA. FOR CLASS 1 BUILDINGS AND 100mm DIA. FOR OTHER CLASSES OF BUILDING OR AS REQUIRED BY THE REGULATORY AUTHORITY.
- BUILD INTO UPSTREAM FACE OF ALL PITS A 3.0m SUBSOIL LINE FALLING TO PITS TO MATCH PIT INVERTS.
- ALL LANDSCAPE PITS TO BE MIN 450 SQUARE U.N.O OR LARGER AS REQUIRED BY AS3500.3 TABLE 7.5.2.1
- GREENVIEW RECOMMENDS ALL COURTYARDS TO HAVE 450 SQUARE PLASTIC PITS INSTALLED WITH A 150mm DIA. CONNECTION TO FORMAL DRAINAGE SYSTEM.
- ALL DRIVEWAY PITS TO BE MIN 600 SQUARE U.N.O OR LARGER AS REQUIRED BY AS3500.3 TABLE 7.5.2.1
- ALL PLANTER BOXES AND BALCONIES TO BE CONNECTED TO THE PROPOSED STORMWATER DRAINAGE LINE.
- ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS. WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG.
- GEOTEXTILE FABRIC TO BE PLACED UNDER RIP RAP SCOUR PROTECTION WHERE APPLICABLE.
- ALL BASES OF PITS TO BE BENCHED (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE AND PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE.
- WHERE VARIATION TO THAT WORKS AS SHOWN ON THE APPROVED DRAWINGS ARE TO BE CONFIRMED BY THE ENGINEER PRIOR TO THE COMMENCEMENT.
- ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- GREENVIEW RECOMMENDS ALL ACCESSIBLE GRATES TO BE FITTED WITH CHILDPROOF LOCKS
- ALL WORK WITHIN COUNCIL RESERVE AREAS TO BE INSPECTED BY COUNCIL PRIOR TO BACKFILLING.
- COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.
- WATER PROOF ALL CONCRETE BALCONIES & ROOFS TO ARCHITECTS DETAILS
- ALL BALCONIES TO HAVE FLOOR WASTE AND 1% FALL WITH SAFETY OVERFLOW.
- ALL SUBSOIL DRAINAGE SHALL BE A MINIMUM OF Ø65mm AND SHALL BE PROVIDED WITH A FILTER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE CONSULTANT.
- SUBSOIL DRAINAGE PIPES AND FITTINGS SHALL BE PERFORATED PLASTIC TO CURRENT AUSTRALIAN STANDARDS. LAY PIPES ON FLOOR OF TRENCH GRADED AT 1% MIN. AND OVERLAY WITH FILTER MATERIAL EXTENDING TO WITHIN 200mm OF SURFACE. PROVIDE FILTER FABRIC OF PERMEABLE POLYPROPYLENE BETWEEN FILTER MATERIAL AND TOPSOIL. PROVIDE FLUSHING EYES AT HIGH POINTS OR TO COUNCILS REQUIREMENTS.
- ALL GRATES IN AREAS OF FREQUENT PEDESTRIAN TRAFFIC (IE FOOTPATHS, WALKWAYS, ETC.) TO BE HEEPROOF GRATE.
- REFER ARCHITECTS DETAIL FOR GRATE FINISH (IE STAINLESS STEEL OR GALVANISED)
- GRATES TO BE IN ACCORDANCE WITH TABLE BELOW:

PIT GRATE INLINE TYPE

GRATE TYPE	TRAFFIC CONDITIONS
A - EXTRA LIGHT DUTY	FOOTWAYS AND AREAS ACCESSIBLE ONLY TO PEDESTRIANS AND PEDAL CYCLISTS.
B - LIGHT DUTY	FOOTWAYS THAT CAN BE MOUNTED BY VEHICLES.
C - MEDIUM DUTY	MALLS AND PEDESTRIAN AREAS OPEN TO SLOW MOVING COMMERCIAL VEHICLES.
D - HEAVY DUTY	CARRIAGEWAYS OF ROADS AND AREAS OPEN TO CERTIFIED VEHICLES
TABLE AS PER AS3996 - 2006. ENGINEER TO BE NOTIFIED IF LOAD CONDITIONS LISTED ABOVE ARE EXCEEDED.	

- COVER TO PIPE TO BE AS PER TABLE BELOW:

COVER TABLE

LOCATION	PIPE TYPE	COVER
LANDSCAPE	PVC	300
LANDSCAPE (SINGLE DWELLING)	PVC	100
UNDER TRAFFICABLE AREA	PVC	100 BELOW UNDERSIDE OF PAVEMENT
CONCRETE	STEEL	NIL BELOW UNDERSIDE OF PAVEMENT
ROADS	RCP	500 BELOW UNDERSIDE OF PAVEMENT

STORMWATER DRAINAGE NOTES CONTINUED

- GREENVIEW'S STORMWATER SYSTEM HAS BEEN DESIGNED TO CAPTURE SURFACE RUNOFF FROM THE SITE ITSELF BUT DOES NOT INCORPORATE SPECIFIC GROUNDWATER CAPTURE MECHANISMS. IN SOME CASES, GROUNDWATER INUNDATION MAY BE A SIGNIFICANT SOURCE OF WATER DURING A STORM EVENT. GREENVIEW RECOMMENDS THAT ALL RETAINING WALLS CLOSE TO HABITABLE AREAS BE FITTED WITH AN IMPERMEABLE MEMBRANE AND SUBSOIL DRAINAGE TO PREVENT GROUNDWATER INGRESS.
- GREENVIEW RECOMMENDS ALL IN-GROUND STORMWATER PIPE RUNS ARE SET OUT BY THE BUILDER PRIOR TO COMMENCEMENT OF WORKS. WHERE 300MM COVER IS NOT ACHIEVED, NOTIFY ENGINEER.
- WHERE STORMWATER DRAINAGE WORKS ARE TO BE UNDERTAKEN PRIOR TO THE CONSTRUCTION OF THE BUILDING, THE BUILDER IS TO SET OUT THE FLOOR LEVELS AND ENSURE PROPOSED STORMWATER DRAINAGE LEVELS AND BUILDING LEVELS ARE COMPATIBLE. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES.

ON-SITE DETENTION

- ON-SITE DETENTION (OSD) TANKS ARE TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CURRENT APPLICABLE AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATIONS.
- IT IS CRITICAL THAT THE MINIMUM OSD VOLUME AS CALCULATED BY THE DESIGNER AND NOTED ON THESE PLANS IS ACHIEVED ON SITE. VOLUMES TO BE VERIFIED BE REGISTERED SURVEYOR AND NOTED IN THE WAE SURVEY PRIOR TO CERTIFICATION.
- OSD VOLUME MAY BE ACHIEVED IN BELOW GROUND TANK, OR ABOVE GROUND PONDING, OR RAINWATER TANK OFFSET, OR INFILTRATION/ABSORPTION SYSTEM. EACH OPTION HAS SPECIFIC GUIDELINES FOR HOW STORMWATER FLOWS ARE TO BE CONTROLLED AND DISCHARGED.
- POUNDING AND OVERFLOW LEVELS FROM THE OSD SHALL BE NOT LESS THAN 300mm BELOW ADJACENT HABITABLE FLOOR LEVELS OF BUILDINGS AND NOT LESS THAN 150mm BELOW NON-HABITABLE FLOOR LEVELS (AS3500.1 CLAUSE 7.10.1)

BELOW GROUND OSD TANKS

- THE HYDRAULIC CONTROL FOR THE STORAGE (USUALLY ORIFICE PLATE) SHALL BE FIRMLY FIXED IN PLACE TO PREVENT REMOVAL OR TAMPERING. A PLATE OF 3mm TO 5mm THICK STAINLESS STEEL WITH A CIRCULAR HOLE SHALL BE USED, PROVIDED:
 - IT IS MACHINED TO 0.5mm ACCURACY
 - IT RETAINS A SHARP EDGE; AND
 - THE ORIFICE DIAMETER IS NOT LESS THAN 25mm (AS 3500.3 CLAUSE 7.10.2)
- INSULATION/ACCESS GRADINGS SHALL BE PROVIDED ABOVE THE LOCATION OF THE OUTLET WITH DIMENSIONS AT LEAST 600mm x 600mm OR 600mm DIAMETER FOR STORAGES UP TO 800mm DEEP AND 600mm x 900mm FOR DEEPER STORAGES. THERE SHALL BE NO IMPEDIMENTS TO THE REMOVAL OF DEBRIS THROUGH THIS OPENING. INSPECTION SHALL BE POSSIBLE WITHOUT RESIDENTS OR OWNERS HAVING TO REMOVE HEAVY ACCESS COVERS (AS3500.3 CLAUSE 7.10.2.b.i)
- WHERE STORAGES ARE NOT DEEP ENOUGH TO WORK IN (<1.5m DEEP), ACCESS SHALL BE PROVIDED AT INTERVALS OF APPROXIMATELY 10m TO ALLOW THE SYSTEM TO BE FLUSHED TO THE STORAGE OUTLET- ACCESS SHALL BE PROVIDED AT THE OUTLET (AS3500.3 CLAUSE 7.10.2.b.ii)
- A SUMP SHALL BE PROVIDED AT THE OUTLET POINT. SET BELOW THE LEVEL OF THE MAIN STORAGE TO COLLECT DEBRIS. WHERE A DISCHARGE CONTROL PIT IS INCLUDED IN THE STORAGE- THIS SHALL CONTAIN A SUMP SET A MINIMUM OF 1.5 TIMES THE DIAMETER OF THE ORIFICE OF THE OUTLET BELOW THE CENTRE OF THE ORIFICE. SUMPS SHALL BE PROVIDED WITH WEEP HOLES TO DRAIN OUT TO THE SURROUNDING SOIL, AND SHALL BE FOUNDED ON A COMPACTED GRANULAR BASE.
- WHERE THE DEPTH OF THE TANK EXCEEDS 1.2m, A LADDER IN ACCORDANCE WITH AS3500.3 CLAUSE 7.5.5.4 SHALL BE INSTALLED.
- BELOW GROUND OSD SYSTEMS SHALL CONFORM WITH AS2865.
- IN ACCORDANCE WITH AS3500.3 CLAUSE 7.10.2.D SCREENS (TRASH RACKS) WITH THE FOLLOWING CHARACTERISTICS SHOULD BE PROVIDED TO COVER EACH ORIFICE OUTLET:
 - FOR ORIFICES UP TO 150mm DIA., A FINE APERTURE-EXPANDED METAL MESH SCREEN WITH A MINIMUM AREA OF 50 TIMES THE AREA OF THE ORIFICE. FOR LARGER DIA. ORIFICES, A COARSER GRID MESH WITH A MINIMUM AREA OF 20 TIMES THE ORIFICE AREA MAY BE USED AS AN ALTERNATIVE.
 - STEEL SCREENS SHOULD BE STAINLESS STEEL OR HOT-DIP GALVANIZED
 - WHERE APERTURE-EXPANDED MESH SCREENS ARE EMPLOYED, THEY SHOULD BE POSITIONED SO THAT THE OVAL-SHAPED HOLES ARE HORIZONTAL, WITH THE PROTRUDING UP ANGLED UPWARDS AND FACING DOWNSTREAM. A HANDLE MAY BE FITTED TO ENSURE CORRECT ORIENTATION AND EASY REMOVAL FOR MAINTENANCE.
 - SCREENS SHOULD BE PLACED NO FLATTER THAN 45 DEGREES TO THE HORIZONTAL IN SHALLOW STORAGES UP TO 800mm DEEP. IN DEEPER OR MORE REMOTE LOCATIONS, THE MINIMUM ANGLE SHOULD BE 60 DEGREES TO THE HORIZONTAL.
- IF THE BELOW GROUND OSD STORAGE IS SEALED, A VENT SHOULD BE PROVIDED TO EXPEL ANY NOXIOUS GASES (AS3500.3 CLAUSE 7.10.2.D.B).
- THE STORAGE SHOULD BE DESIGNED TO FILL WITHOUT CAUSING OVERFLOWS IN UPSTREAM CONDUITS DUE TO BACKWATER EFFECTS (AS3500.3 CLAUSE 7.10.2.D.C)
- BELOW GROUND STORAGES SHALL BE CONSTRUCTED OF CONCRETE, MASONRY, ALUMINIUM/ZINC AND ALUMINIUM/ZINC/MAGNESIUM ALLOY-COATED STEEL, ZINC-COATED STEEL, GALVANISED IRON OR PLASTICS (AS3500.3 7.10.3)

MAINTENANCE SCHEDULE: ON SITE DETENTION (OSD)

ALL OSD MAINTENANCE TASKS SHOULD BE UNDERTAKEN AFTER A SIGNIFICANT STORM EVENT

6 MONTHLY

ELEMENT	TASK	DESCRIPTION / ACTION
ORIFICE PLATE	INSPECT FOR BLOCKAGE	CHECK PLATE FOR BLOCKAGE AND CLEAN
TRASH SCREEN	CHECK / CLEAN	CHECK AND CLEAN TRASH SCREEN
PIT SUMP	CHECK FOR SEDIMENT	CHECK FOR SEDIMENT / LITTER / SLUDGE AND CLEAN-OUT
GRATED LIDS	CHECK FOR DAMAGE	CHECK FOR CORROSION OR OTHER DAMAGE AND REPAIR / REPLACE AS NEEDED
	CLEAR BLOCKAGES	CHECK AND CLEAR BLOCKAGES
STORAGE LIDS	CHECK	REMOVE DEBRIS / MULCH / LITTER / SEDIMENT
OUTLET PIPES	CHECK FOR BLOCKAGES	CHECK / CLEAN / FLUSH OUTLET PIPES, REMOVE ANY BLOCKAGES
STEP IRONS	CHECK FIXING	ENSURE STEP-IRON FIXINGS ARE SECURE AND REPAIR AS NEEDED

ANNUALLY

ELEMENT	TASK	DESCRIPTION / ACTION
ORIFICE PLATE	CHECK ATTACHMENT	ENSURE PLATE IS MOUNTED SECURELY, TIGHTEN AND SEAL GAPS AS REQUIRED
TRASH SCREEN	CHECK ATTACHMENT	ENSURE PLATE IS MOUNTED SECURELY, TIGHTEN AND SEAL GAPS AS REQUIRED
	CHECK CORROSION	CHECK TRASH SCREEN FOR CORROSION, ESPECIALLY AT CORNERS NEAR WELDS AND REPAIR / REPLACE AS NEEDED
STEP IRONS	CHECK FOR CORROSION	EXAMINE STEP IRONS AND REPAIR ANY DAMAGE
INTERNAL WALLS	CHECK	CHECK FOR CRACKS / SPALLING AND REPAIR AS NEEDED
OSD SURROUNDS	CHECK FOR SUBSIDENCE	CHECK FOR SUBSIDENCE (WHICH MAY INDICATE LEAKS) AND REPAIR AS NEEDED

5-YEARLY

ELEMENT	TASK	DESCRIPTION / ACTION
ORIFICE PLATE	CHECK ORIFICE PLATE	CHECK ORIFICE SIZE AGAINST WAE AND CHECK FOR FITTING / SCARRING, REPLACE IF NECESSARY

NEW (REFER TO SCHEDULES FOR COLOUR DEFINITION)

EXISTING

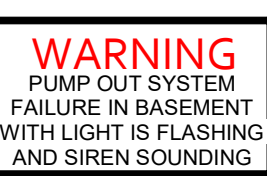
REMOVED OR RELOCATED

COLOUR LEGEND

NEW (REFER TO SCHEDULES FOR COLOUR DEFINITION)
EXISTING
REMOVED OR RELOCATED

GREENVIEW CIVIL SHEET LIST		
No.	SHEET NAME	REV.
C01	NOTES & LEGENDS	6
C02	GROUND FLOOR DRAINAGE PLAN	6
C03	SITE STORMWATER DETAILS SHEET	4
C10	ROAD FRONTAGE PLAN - OPTION 1	2
C11	ROAD FRONTAGE PLAN - OPTION 2	2

RECOMMENDED SAFETY SIGNS



BASEMENT PUMP OUT FAILURE WARNING SIGN

- SIGN SHALL BE PLACED IN A CLEAR AND VISIBLE LOCATION WHERE VEHICLES ENTER THE BASEMENT



CONFINED SPACE DANGER SIGN

- A CONFINED SPACE DANGER SIGN SHALL BE POSITIONED IN A LOCATION AT ALL ACCESS POINTS, SUCH THAT IT IS CLEARLY VISIBLE TO PERSONS PROPOSING TO ENTER THE BELOW GROUND TANKS CONFINED SPACE.
 - MINIMUM DIMENSIONS OF THE SIGN
 - 300mm x 450mm (LARGE SIGNS SUCH AS DOORS)
 - 250mm x 180mm (SMALL ENTRIES SUCH AS GRATES & MANHOLES)
- THE SIGN SHALL BE MANUFACTURED FROM COLOUR BONDED ALUMINIUM OR POLYPROPYLENE
- SIGN SHALL BE AFFIXED USING SCREWS AT EACH CORNER OF THE SIGN.

EXISTING SERVICES



ABBREVIATIONS

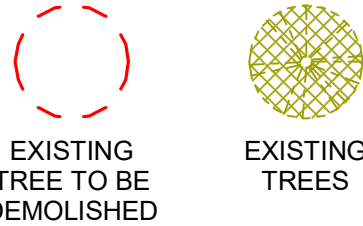
DF	DOWN PIPE
FP	PROPOSED FINISHED FLOOR LEVEL
GL	PROPOSED PIT SURFACE LEVEL
IL	PROPOSED PIT INVERT LEVEL
INS	INSPECTION OPENING
K&G	KERB & GUTTER
MIN	MINIMUM
P	FINISHED PAVEMENT LEVEL
RKG	ROLL KERB & GUTTER
RKL	FINISHED SURFACE LEVEL
RWO	RAINWATER DRAINAGE OUTLET
RWT	PROPOSED RAINWATER TANK
TK	TOP OF NEW KERB LEVEL
TOW	TOP OF NEW RETAINING WALL LEVEL
TWL	TOP OF WATER LEVEL
UPVC	RIGID PVC PIPE
VD	VERTICAL DROPPER

GROUND FLOOR DRAINAGE PLAN

Scale: 1 : 150

GENERAL LEGEND

LANDSCAPE
BYPASS LANDSCAPE
HARDSTAND
ROOF AREA TO DRAIN
OSD



CIV - FIXTURES SCHEDULE	
TYPE	DESCRIPTION
GRATED STORMWATER PIT	
150W	GRATED STRIP DRAIN
300W	GRATED STRIP DRAIN

CIV - STANDARD SYMBOLS	
	DESCRIPTION
OVERLAND FLOW PATH	

CIV - STORMWATER SERVICES	
TYPE	DESCRIPTION
STW	STORMWATER

- ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS. WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG.
- ALL BASES OF PITS TO BE BENCHMARKED (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE WITH ALL PIPES CUT FLUSH WITH SIDE OF PIT, TO ALLOW SMOOTH FLOW OF STORMWATER.
- PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE WHERE IN TRAFFICABLE AREAS.
- PROVIDE 100mm GAP IN BASE OF FENCE FOR EMERGENCY OVERFLOWS.
- PROVIDE SUBSOIL DRAINAGE AND OUTLETS TO ALL ON PODIUM PLANTER BOXES. OUTLET PIPES NOT SHOWN FOR CLARITY OF DOCUMENTATION.
- ALL DOWNPIPES ARE TO BE PIPE CONNECTED INTO THE FORMAL RAINWATER OR STORMWATER LINE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE.
- ALL PIPES TO BE 100mmØ @ 1% MINIMUM UNLESS NOTED OTHERWISE.
- ALL BASES OF PITS TO BE BENCHMARKED TO THE INVERT OF THE OUTLET PIPE WITH ALL PIPES CUT FLUSH WITH SIDE OF PIT, TO ALLOW SMOOTH FLOW OF STORMWATER.
- PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATES IN TRAFFICABLE AREAS.

STORMWATER CALCULATIONS

- LGA: CUMBERLAND CITY COUNCIL
- SITE AREA = 2135²
- DEVELOPMENT WILL REQUIRE OSD IN ACCORDANCE WITH CUMBERLAN COUNCIL STORMWATER TECHNICAL GUIDELINES. OSD TO BE DESIGNED IN ACCORDANCE WITH UPRCT METHOD.

OSD CALCULATIONS

- SITE AREA = 0.2135ha
- UPSTREAM CATCHMENT THROUGH SITE = 0ha
- SSR = 470m³/ha
- PSD = 80L/s/ha
- BASIC STORAGE = 100.345m³
- BASIC Q = 0.017m³/s
- AREA OF SITE TO OSD = 0.1815ha
- PERCENTAGE OF SITE DRAINED = 85%
- STORAGE PER HA OF CONTRIBUTING AREA = 552.9m³/ha
- ADJUSTING PSD FROM FIGURE 5.1 = 64.6L/s/ha
- PSD = 11.73L/s
- MAXIMUM HEAD TO ORIFICE (TWL - ORIFICE CL) = 1.41m
- ORIFICE DIAMETER = 68mm
- MAX DISCHARGE = 11.73L/s
- HEAD FOR HED (WEIR RL - ORIFICE CL) = 1.41m
- HED FLOW = 11.73L/s
- APPROXIMATE MEAN DISCHARGE = 11.73L/s
- AVERAGE DISCHARGE PER HA = 64.6L/s
- FINAL SSR PER HA = 552.9m³/HA
- FINAL SSR = 100.3m³

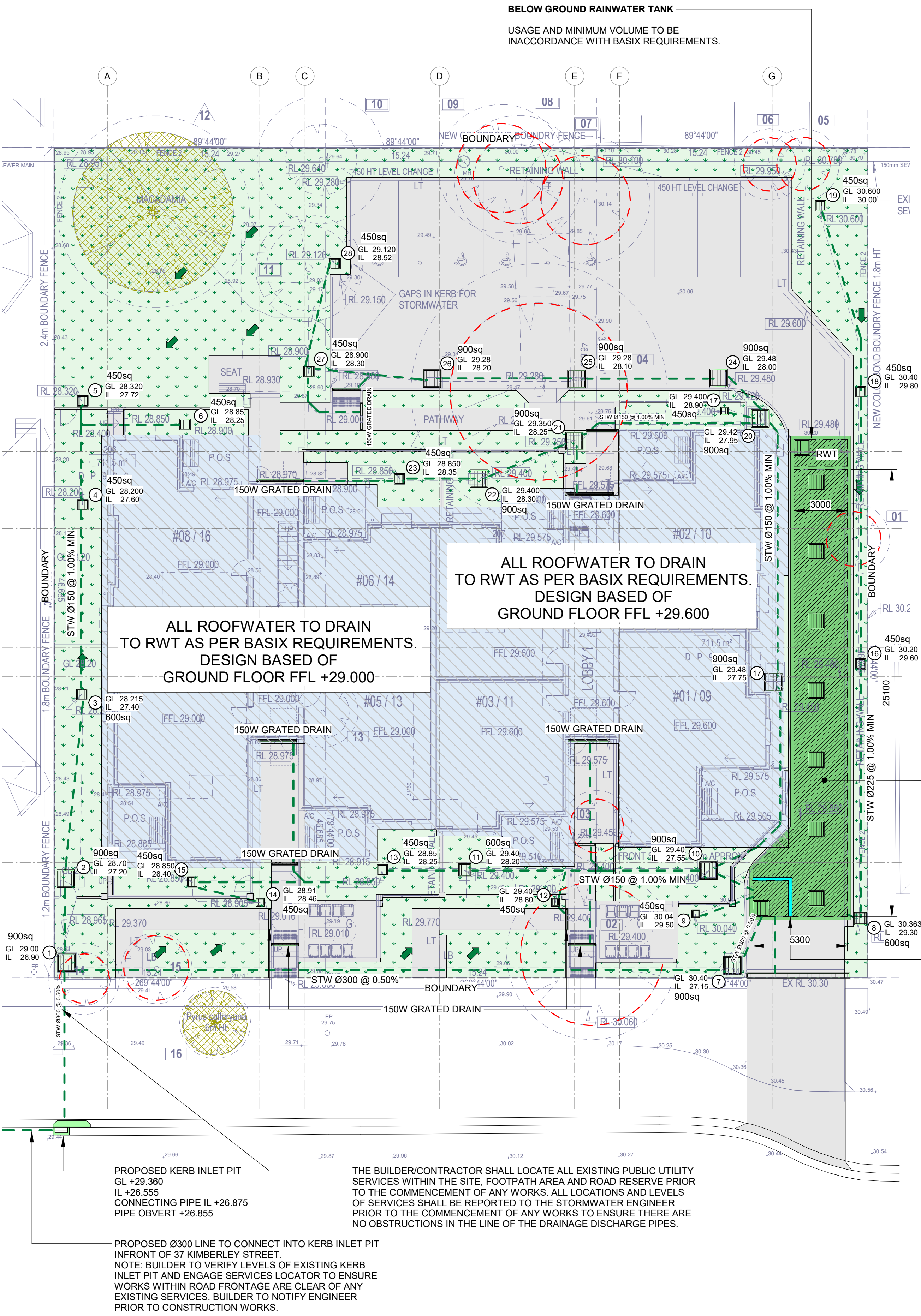
WSUD REQUIREMENTS

- NO WSUD REQUIREMENTS FOR SITES UNDER 2500m²

BELOW GROUND OSD

GL +29.80
U/S SLAB +29.60
TWL +28.8
BASE IL OF OSD +27.19
MAX DEPTH = 1.61m
AVERAGE DEPTH = 1.42m
PLAN AREA (- HED CHAMBER) = 79m²
VOLUME ACHIEVED = 112.20m³ [OK]
BASE OF OSD TO BE GRADED TOWARDS HED CHAMBER INLET AT 1.5% MINIMUM

HED CHAMBER WEIR WALL
TOW +28.80



PROPOSED KERB INLET PIT
GL +29.360
IL +26.555
CONNECTING PIPE IL +26.875
PIPE OBVERT +26.855

PROPOSED Ø300 LINE TO CONNECT INTO KERB INLET PIT
IN FRONT OF 37 KIMBERLEY STREET
NOTE: BUILDER TO VERIFY LEVELS OF EXISTING KERB
INLET PIT AND ENGAGE SERVICES LOCATOR TO ENSURE
WORKS WITHIN ROAD FRONTAGE ARE CLEAR OF ANY
EXISTING SERVICES. BUILDER TO NOTIFY ENGINEER
PRIOR TO CONSTRUCTION WORKS.

THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY
SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR
TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS
OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER
PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE
NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.

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ASHFIELD NSW BC1800
PHONE No (02) 8753 8000
FAX No (02) 8753 8888
www.facs.nsw.gov.au



REV.	DATE	BY	DESCRIPTION
6	19.04.23	JPS	ISSUED FOR APPROVAL
5	04.04.23	JPS	ISSUED FOR APPROVAL
4	17.03.23	JPS	ISSUED FOR APPROVAL
3	13.03.23	JPS	ISSUED FOR APPROVAL
2	03.02.23	RC	PRELIMINARY ISSUE
1	16.09.22	KJL	PRELIMINARY ISSUE

ARCHITECT
BREWSTER MURRAY PTY LTD
PROJECT MANAGER
LAND & HOUSING CORPORATION
ELECTRICAL CONSULTANT
GREENVIEW CONSULTING PTY LTD

STRUCTURAL CONSULTANT
GREENVIEW CONSULTING PTY LTD
HYDRAULIC CONSULTANT
GREENVIEW CONSULTING PTY LTD
LANDSCAPE CONSULTANT
GREENLAND DESIGN

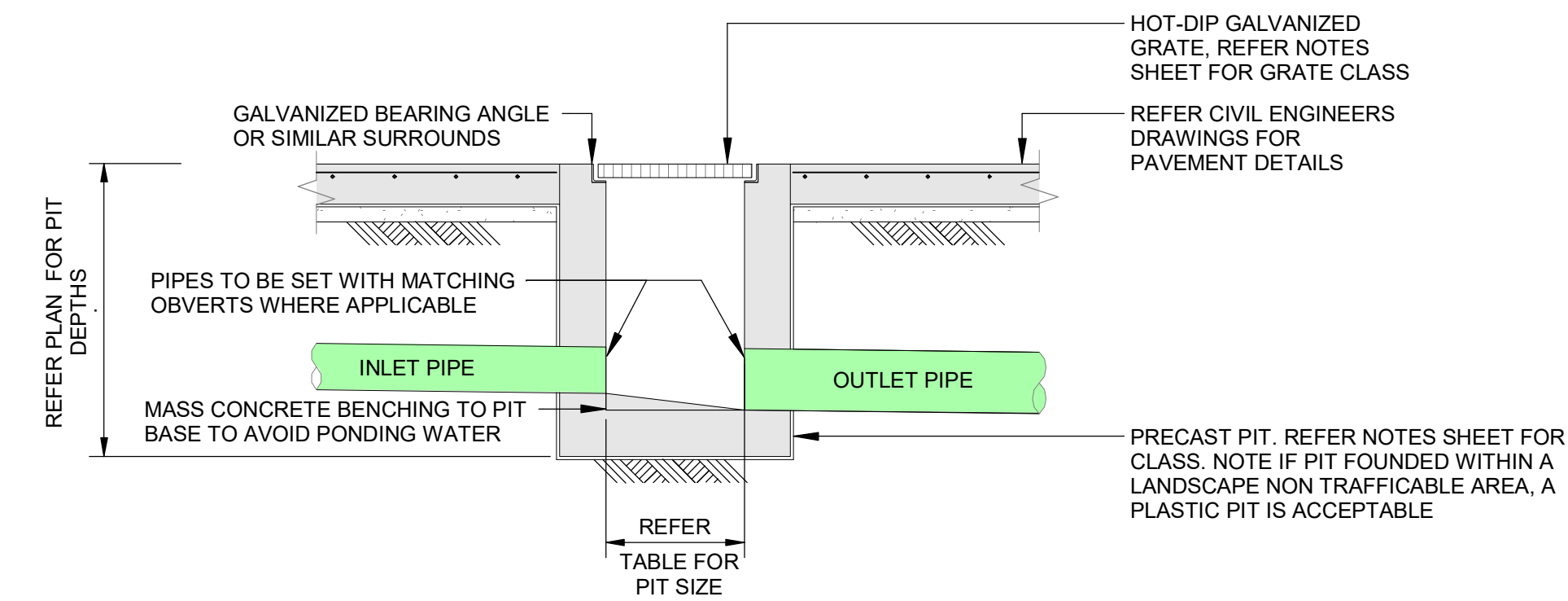


PROJECT:
PROPOSED DEVELOPMENT
AT
17-21 Kimberly Street, Merrylands, NSW

TITLE:
GROUND FLOOR DRAINAGE PLAN

STATUS: PRELIMINARY			
DATE: 19.04.23	SCALE: As indicated	PRJ: 211060	JOB: 211060
STAGE: P	DRAWN: KJL	DESIGN: KJL	CHECKED: KJL
TYPE: C	SHEET: C02		REV: 6

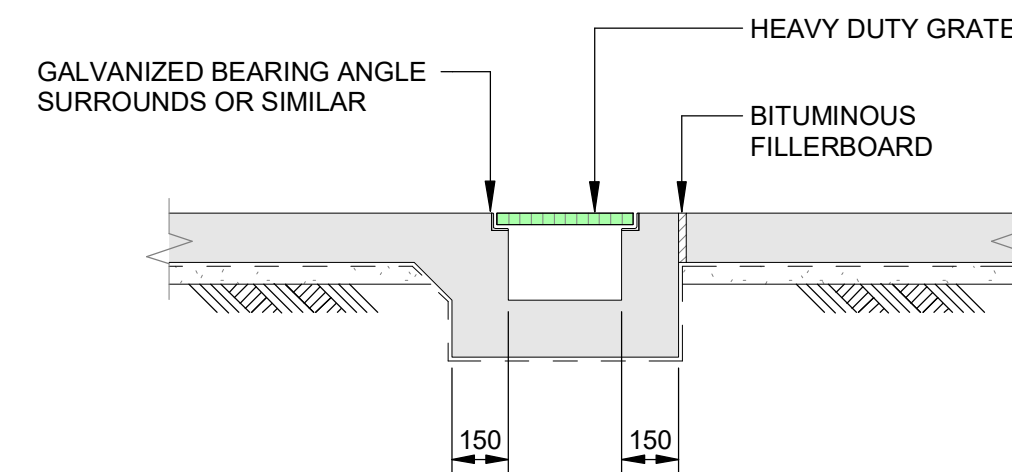
1 November 2023



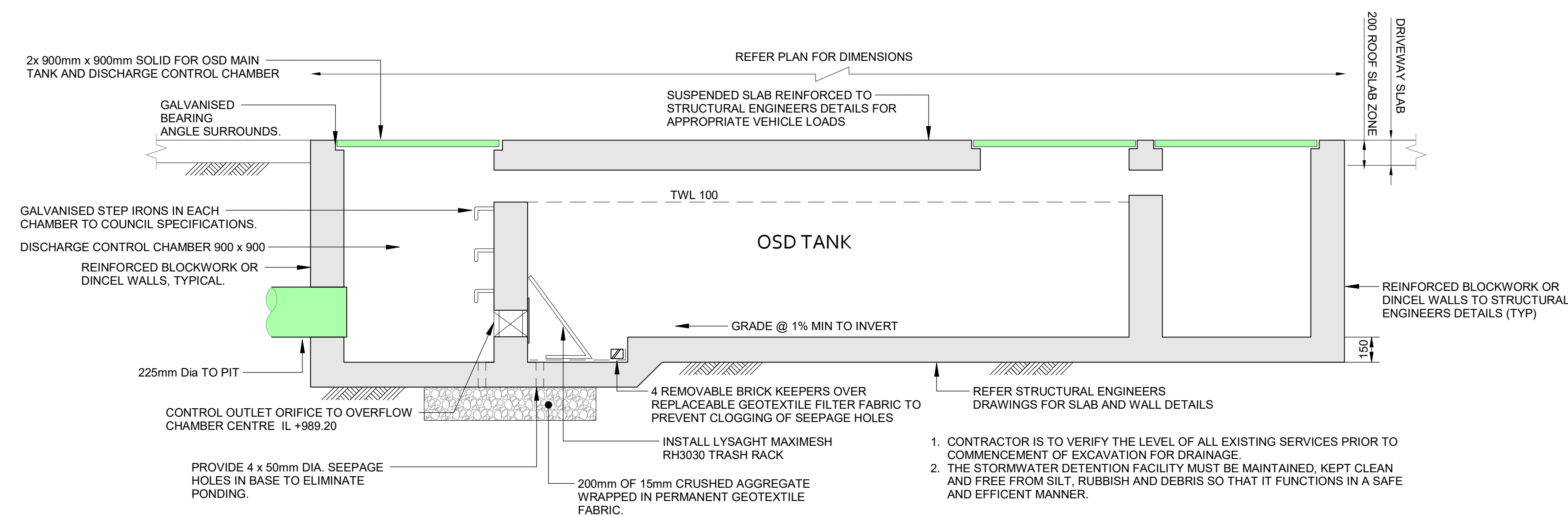
1. ENSURE CLIMB IRONS ARE PROVIDED UNDER LID AT 300 CTS TO COUNCIL'S SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000.
2. GREENVIEW RECOMMENDS THE PLUMBER PROVIDES 90dia x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC. (BIDUM A24 OR APPROVED SIMILAR). TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.

PIT SIZE	
DEPTH	PIT DIMENSION
0 - 600	450 mm x 450 mm
600 - 900	600 mm x 600 mm
900 - 1200	600 mm x 900 mm
1200 +	900 mm x 900 mm

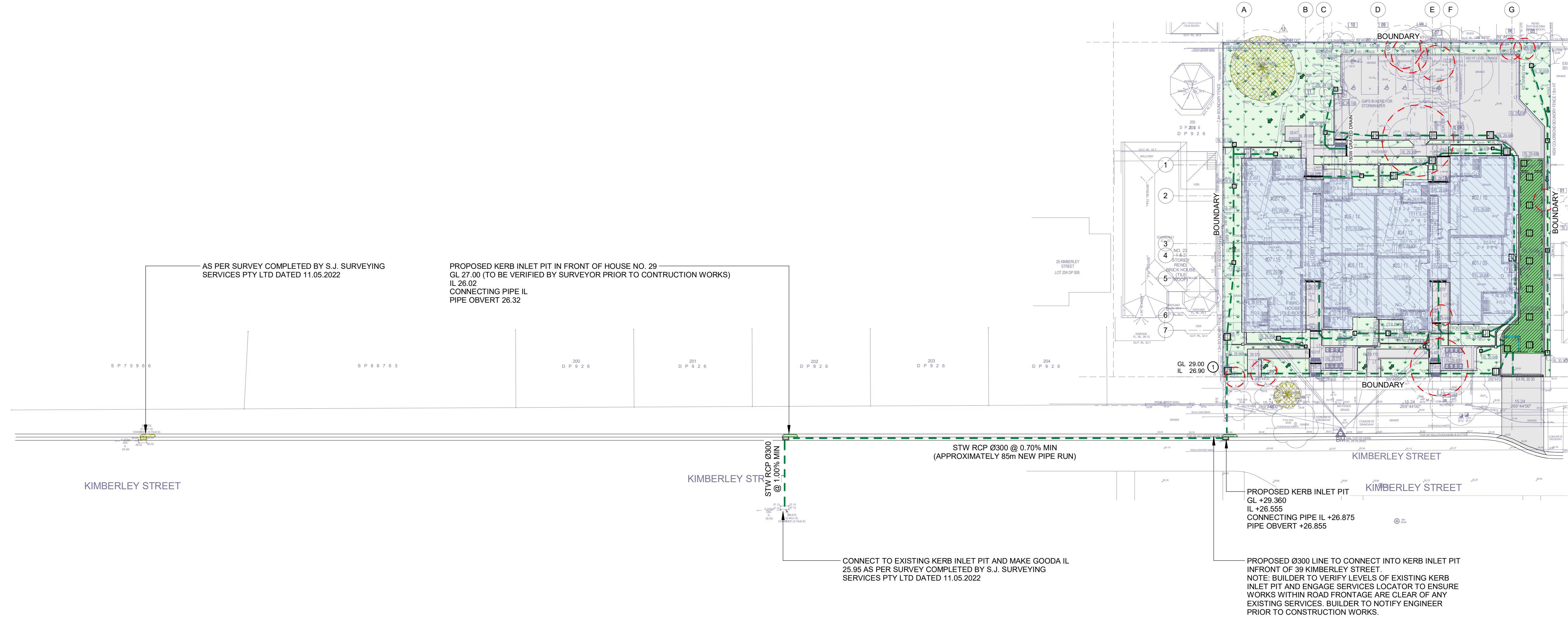
TYPICAL CONCRETE INLET PIT - CONCRETE SURFACE
Scale: 1 : 20



TYPICAL GRATED DRAIN DETAIL
Scale: 1 : 20



TYPICAL OSD BELOW GROUND
Scale: 1:20



ROAD FRONTAGE PLAN
Scale: 1 : 300



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PHONE No (02) 8753 8000
FAX No (02) 8753 8888

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				ARCHITECT	BREWSTER MURRAY PTY LTD	STRUCTURAL CONSULTANT	GREENVIEW CONSULTING Pty Ltd	BUSINESS PARTNER	
				PROJECT MANAGER	LAND & HOUSING CORPORATION	HYDRAULIC CONSULTANT	GREENVIEW CONSULTING Pty Ltd		
				ELECTRICAL CONSULTANT	GREENVIEW CONSULTING Pty Ltd	LANDSCAPE CONSULTANT	GREENLAND DESIGN		
2	19.04.23	JPS	ISSUED FOR APPROVAL						
1	04.04.23	JPS	ISSUED FOR APPROVAL						
REV.	DATE	BY	DESCRIPTION						

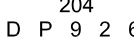
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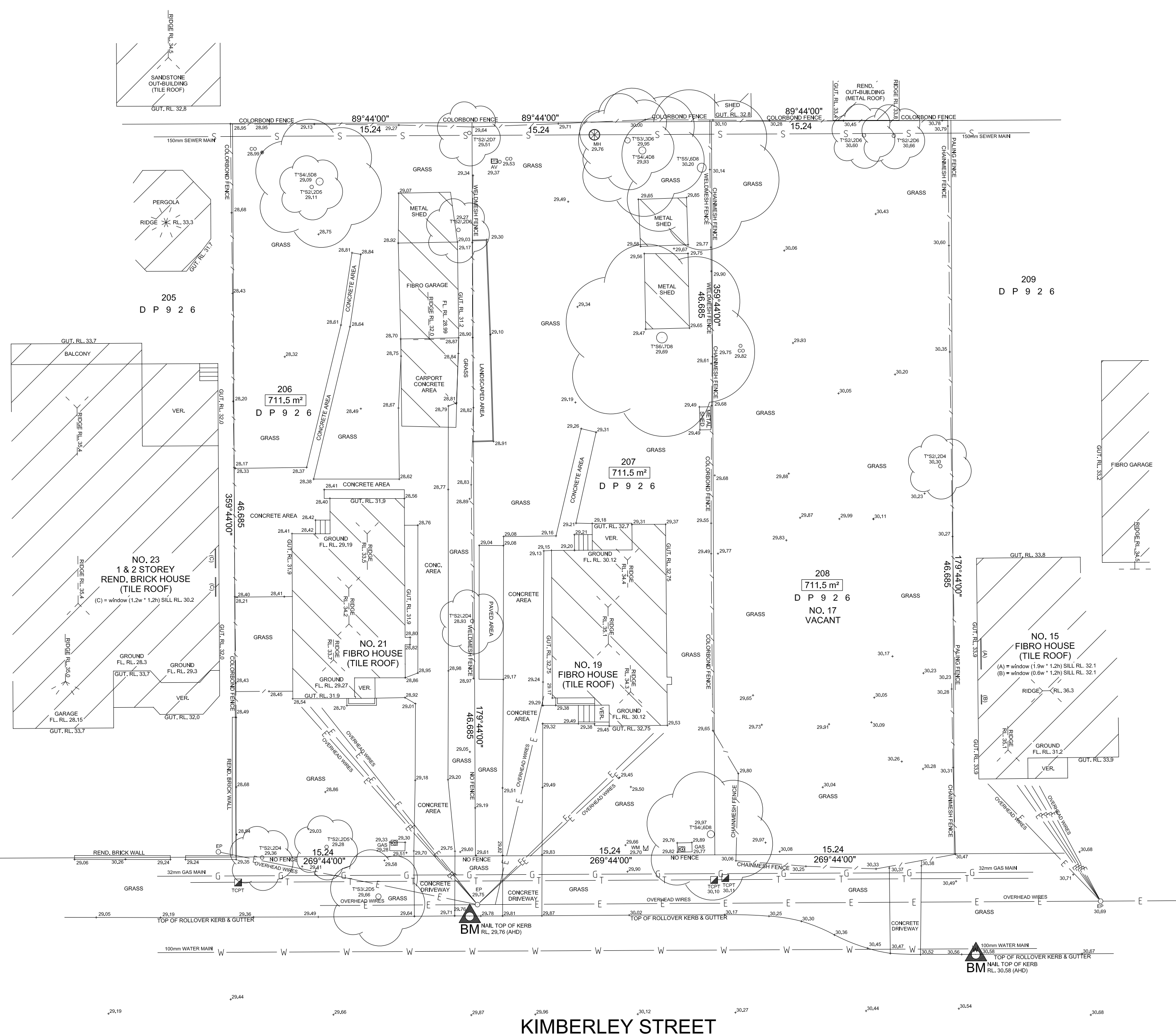
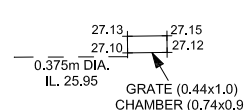
PROJECT:
PROPOSED DEVELOPMENT
AT
17-21 Kimberly Street, Merrylands, NSW

TITLE:
ROAD FRONTAGE PLAN -

STATUS:		PRELIMINARY	
DATE:	SCALE:	PRJ:	JOB:
19.04.23	1 : 300		21106
STAGE:	DRAWN:	DESIGN:	CHECKED:
P	KJL	KJL	KJL
TYPE:	SHEET:	REV:	
C	C11	2	



KIMBERLEY STREET



29.96 20.12
KIMBERLEY STREET

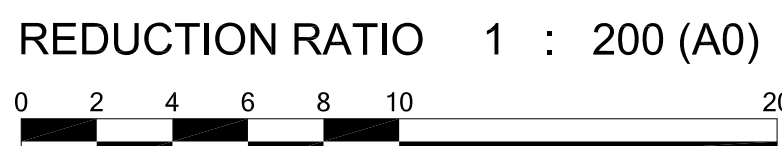
[illegible]

LEGEND OF COMMONLY USED SYMBOLS

WATER	-W-	H	-W-	S.V.	-W-
SEWER	150 dia	MH	60 dia	LH	-W-
ELECTRICITY	OH UG	E	PP	Street Light Joint PS	E
TELECOM	OH UG	T	T	Consumer Distribution Box	E
GAS	-G-	V	Valve	Pillar Identification Plate	G
DRAINAGE	Common	D	150 dia	Junction	D
	-M-	150 dia	PS		

- Mail 525 dia PM SM

BENCH MARK **SURVEY CONTROL MARK**



LOTS: 206, 207 & 208

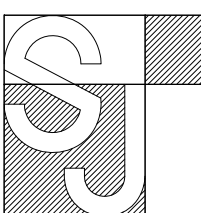
PLAN NO: DP926


OTHER:


AREA: 2134.5m²

DATE OF SURVEY: 11 / 05 /2022

SURVEY CONSULTANT:



 S.J SURVEYING SERVICES PTY LTD
LAND & ENGINEERING SURVEYS
AHEAD OF THE FRONTIER
P.O. BOX 139
MORTDALE, NSW 2223
PHONE Mob: 0408 671 199
EMAIL: sash@sjsurveying.com
www.sjsurveying.com


.....
Registered Surveyor

SURVEYORS
REF : 3269/21



Planning,
Industry &
Environment

HOUSING AND PROPERTY GROUP - Land & Housing Corporation

DRAWING TITLE

DETAIL AND LEVEL SURVEY
LOTS 206, 207 & 208 IN DP 926

LEGEND		SI	SIGN
WM	WATER METRE	GP	GULLY PIT
SIP	SURFACE INLET PIT	SV	STOP VALVE
TCPT	TELSTRA PIT	AV	AIR VENT
SMH	SEWER MAN HOLE	FL	FLOOR LEVEL
SWMH	STORM WATER MH.	BM	BENCH MARK
BT	BOUNDARY TRAP	MH	MAN HOLE
EP	ELECTRIC POLE	GS	GAS METER
S	RADIAL TREE SPREAD	PIT	UNKNOWN PIT
TL	TRAFFIC LIGHT	HY	HYDRANT
DMR	RTA UTILITY	CO	CLEAR OUT
EOBX	ELECTRICITY BOX		

LOCATION

MERRYLANDS

STREET ADDRESS

NO. 17-21 KIMBERLEY STREET

SITE

LAYOUT JOB

1

TYPE
S

SHT. 1

OF 1

SERVICES NOTE:

- THE POSITION OF SERVICES SHOWN ON THIS PLAN HAVE BEEN DERIVED FROM A COMBINATION OF FIELD OBSERVATIONS & PLANS PROVIDED BY THE RELEVANT AUTHORITIES.
- SERVICES SHOWN INDICATE THE PRESENCE OF THAT SERVICE & MUST NOT BE USED FOR ABSOLUTE POSITION.
- PROPER IDENTIFICATION OF OVERHEAD & UNDERGROUND PIPES AND/OR CABLES MUST BE CONFIRMED WITH ALL RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY SITE WORK.
- ALL SERVICES ARE APPROXIMATE LOCATIONS & SITE SERVICE LOCATORS WILL BE REQUIRED TO DETERMINE THE EXACT LOCATIONS.

NOTE

- (1) NO BOUNDARIES HAVE BEEN MARKED OR SURVEYED (THE DIMENSIONS SHOWING).
- (2) LOT BEARINGS, DIMENSIONS AND AREA HAVE BEEN COMPILED FROM DEEDS AND RECORDS TO FINAL SURVEY.
- (3) ALL DETAILS, AND FEATURES SHOWN HEREON HAVE BEEN FLOTTERED IN RELATION TO THE OCCUPATIONS (FENCES AND/OR WALLS ETC). THESE OCCUPATIONS HAVE NOT YET BEEN ACCURATELY LOCATED IN RELATION TO THE SURVEYED BOUNDARIES.
- (4) SHOULD ANY FEATURES OR STRUCTURES BE CRITICAL TO THE DESIGN OF THE FUTURE DEVELOPMENT THAT FEATURE SHOULD BE ACCURATELY LOCATED, WHERE OFFERS TO BOUNDARIES ARE CRITICAL, THE LAND SURVEYOR MUST BE NOTIFIED.
- (5) SERVICES THAT ARE NOT SHOWN ON THE BOUNDARIES ARE NOT VISIBLE AT THE TIME OF THE SURVEY, NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE, ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED BY THE CLIENT OF ANY APPROXIMATION OR NEAR THE SITE (DIAL 1100 BEFORE YOU DIG).
- (6) SPOT LEVELS SHOULD BE USED FOR CALCULATION OF QUANTITIES WITH CAUTION.
- (7) CONTAINS NO NEGATIVE INFO, ADJUST SPOT LEVELS IN PREFERENCE TO COORDINATES.
- (8) SIGNIFICANT TREES SHOWN "APPROXIMATELY" ONLY.
- (9) ADDING PROPERTIES AND WINDROWS' LOCATION ONLY.
- (10) PLEASE BE AWARE THERE ARE DISCREPANCIES ON THE SURVEY PLAN (PLEASE CHECK) AS I HAVE SERVICED THE PURY PLAN IMMEDIATELY BY THE



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NOTIFICATION PLANS SENIORS LIVING DEVELOPMENT

17-21 KIMBERLEY STREET, MERRYLANDS, NSW



KIMBERLEY STREET PHOTOMONTAGE

[Signature]

LEGEND:

- STAIR LOBBY
- 1 BEDROOM UNITS
- 2 BEDROOM UNITS
- PAVING
- GARDEN AREA
- PATHWAYS / DRIVEWAY
- EX 00.000

EXISTING LEVEL
- FFL 00.000

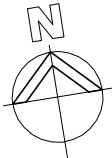
PROPOSED FLOOR LEVEL
- LB

LETTERBOX
- P.O.S

PRIVATE OPEN SPACE
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED

NEW PLANTING SCHEDULE:

ID	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT
Trees			
AS	Acmena smithii	Lillypilly	1 - 3m
BI	Banksia integrifolia	Coastal Banksia	5 - 7m
CK	Callistemon 'Kings Park Special'	Bottlebrush	2.0 - 3.5m
ER	Elaeocarpus reticulatus	Blueberry Ash	3 - 4m
TL	Tristaniopsis laurina 'Luscious'	Water Gum	3.5 - 6m
Shrubs			
AC	Acmena 'Cherry Surprise'	Forest Flame	1.2 - 1.5m
AR	Acmena smithii 'Red Head'	Red Head Lilly Pilly	3.0 - 4.0m
AF	Acmena smithii 'Fire Screen'	Fire Screen Lilly Pilly	1 - 1.5m
BS	Banksia spinulosa	Hairpin Banksia	1.0 - 2.0m
CL	Callistemon 'Little John'	Little John	0.9 - 1.2m
CS	Cordyline stricta congesta	Narrow Palm Lily	0.8 - 1.0m
CE	Coprosma 'Evening Glow'	Evening Glow Mirror Plant	0.9 - 1.2m
DE	Doryanthes excelsa	Gymea Lily	1.2 - 2.0m
GM	Grevillea 'Moonlight'	Grevillea	2.0 - 4.0m
GS	Grevillea sericea	Pink Spider Flower	0.9 - 1.2m
IA	Indigofera australis	Australian Indigo	2.0 - 3.5m
LG	Leptospermum 'Green Screen'	Green Screen Leptospermum	1.2 - 1.5m
MT	Melaleuca thymifolia	Thyme Honey-myrtle	0.6 - 0.9m
SR	Syzygium 'Resilience'	Resilience Lilly Pilly	1.2 - 2.0m
WF	Westringia fruticosa 'Jervis Gem'	Jervis Gem	0.8 - 1.2m
Ground Covers			
DT	Dianella tasmanica 'Tasred'	Flax Lily	0.4 - 0.5m
LK	Lomandra longifolia 'Katrinus Deluxe'	Katrinus Deluxe Mat-Rush	0.9 - 1.2m
MY	Myoporum parvifolium 'Yareena'	Carpet Spreading Myoporum	0.8 - 1.0m
LT	Lomandra longifolia 'Tanika'	Spiny-headed mat rush	0.6 - 0.9m
LS	Lomandra longifolia 'Shara'	Shara Mat Rush	0.5 - 0.6m
DE	Dichondra 'Emerald Falls'	Emerald Falls Dichondra	0.9 - 1.2m
AG	Anigozanthos 'Gold Velvet'	Kangaroo Paw 'Gold Velvet'	0.3 - 0.5m
CC	Casuarina 'Cousin It'	Cousin It	0.8 - 1.0m
GB	Grevillea 'Bronze Rambler'	Bronze Rambler Grevillea	2.0 - 3.0m
PR	Pennisetum 'Rubrum'	Purple Fountain Grass	0.5 - 0.9m
DL	Dianella revoluta 'Little Rev'	Spreading Flax Lily	0.3 - 0.6m
BB	Banksia spinulosa 'Birthday Candle'	Birthday Candle	0.9 - 1.2m
TF	Buffalo	Turf Lawn	-



INDICATIVE NEW
FOOTPATH SUBJECT TO
COUNCIL REQUIREMENTS

INDICATIVE NEW STREET
TREES (x4) - SUBJECT TO
COUNCIL REQUIREMENT

INDICATIVE NEW
FOOTPATH SUBJECT TO
COUNCIL REQUIREMENTS

KIMBERLEY STREET

1 NOTIFICATION - SITE PLAN

SCALE 1 : 400



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ARCHITECT
BREWSTER MURRAY PTY LTD

PROJECT
**RESIDENTIAL FLAT DEVELOPMENT UNDER SEPP
(HOUSING) 2021**

17-21 Kimberly Street, Merrylands, NSW LOTS 206, 207, 208 IN DP926

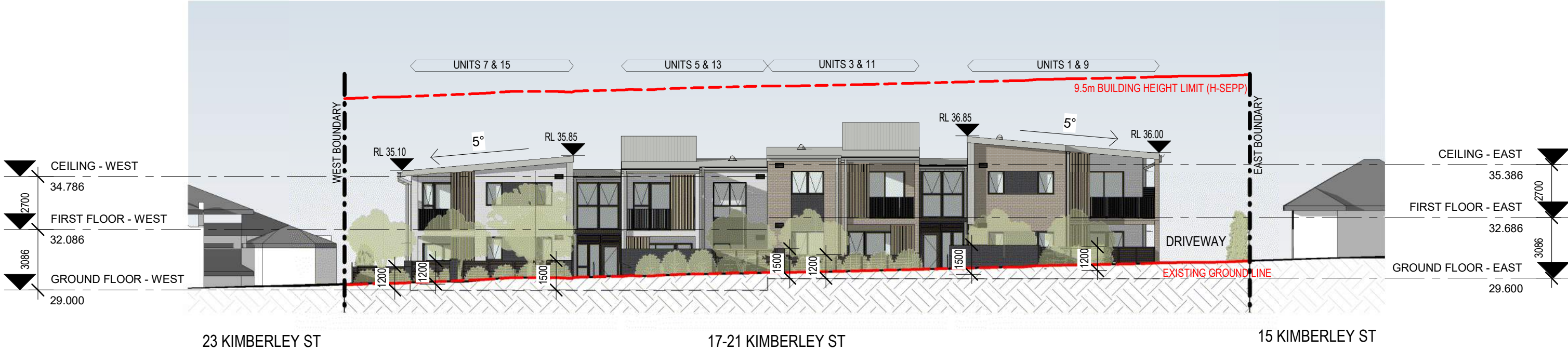
TITLE
NOTIFICATION SITE/ LANDSCAPE PLAN

REV	DATE	PROJECT No.	SHEET
E	18-04-23	BGYF2	N02

[Signature]

1 November 2023

20/04/2023 7:21:17 PM



1 | NOTIFICATION - SOUTH ELEVATION (KIMBERLEY ST)
SCALE 1 : 200

PROPOSED DEVELOPMENT DATA

SITE AREA	2134.5 m ²
TITLE DESCRIPTION	LOTS 206, 207, 208 DP 926
PROPOSED DWELLING NUMBERS	16 DWELLINGS (8 x 2 BED + 8 x 1 BED)

	REQUIREMENT	PROPOSED
FRONT SETBACK	6.0m MIN	6.5m
SIDE & REAR SETBACKS	SIDE SETBACK 3m MIN	3.05m SIDE - WEST 3m SIDE - EAST
	REAR SETBACK 9.32m MIN	18.9m

	REQUIREMENT	PROPOSED
HEIGHT	9.0m	7.5m
FLOOR SPACE RATIO	H-SEPP - 0.5 : 1	0.56:1
	C-LEP - NOT ADOPTED	-
PARKING	4 ACCESSIBLE SPACES	4
	8 TOTAL PARKING SPACES	8



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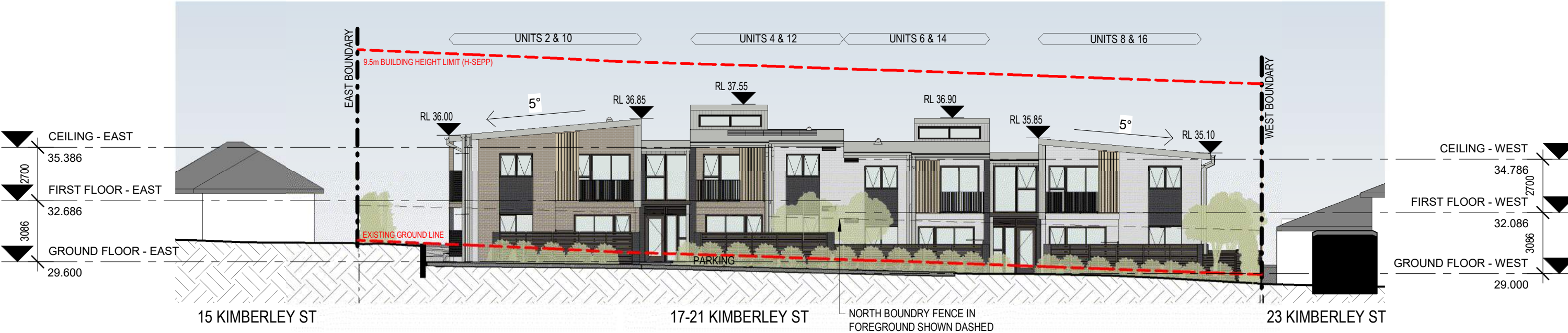
ARCHITECT
BREWSTER MURRAY PTY LTD

PROJECT
**RESIDENTIAL FLAT DEVELOPMENT UNDER SEPP
(HOUSING) 2021**
17-21 Kimberly Street, Merrylands, NSW LOTS 206, 207, 208 IN DP926

TITLE
NOTIFICATION DEVELOPMENT DATA

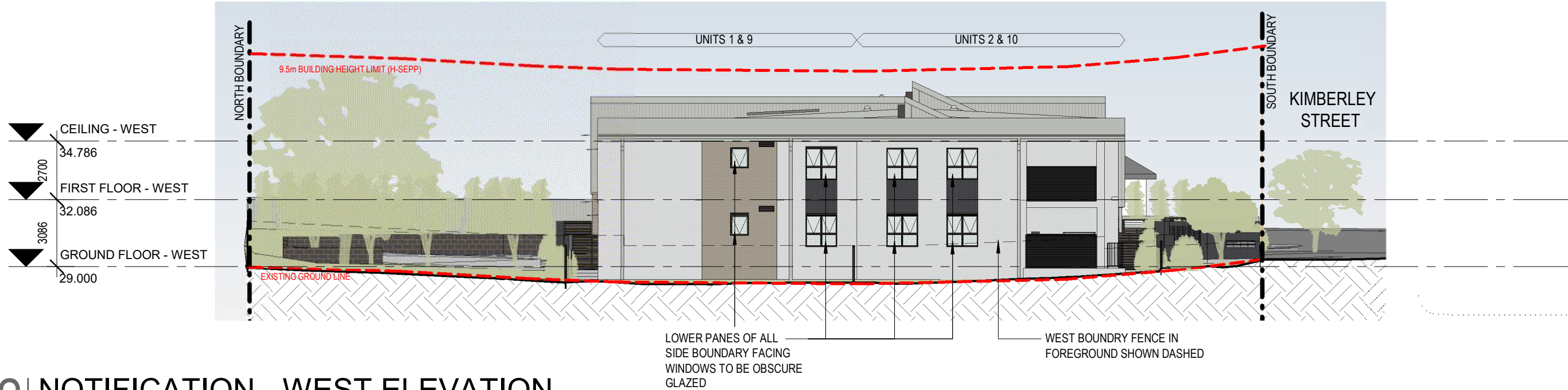
REV	DATE	PROJECT No.	SHEET
E	18-04-23	BGYF2	N03

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1 | NOTIFICATION - NORTH ELEVATION

SCALE 1 : 200



2 | NOTIFICATION - WEST ELEVATION

SCALE 1 : 200



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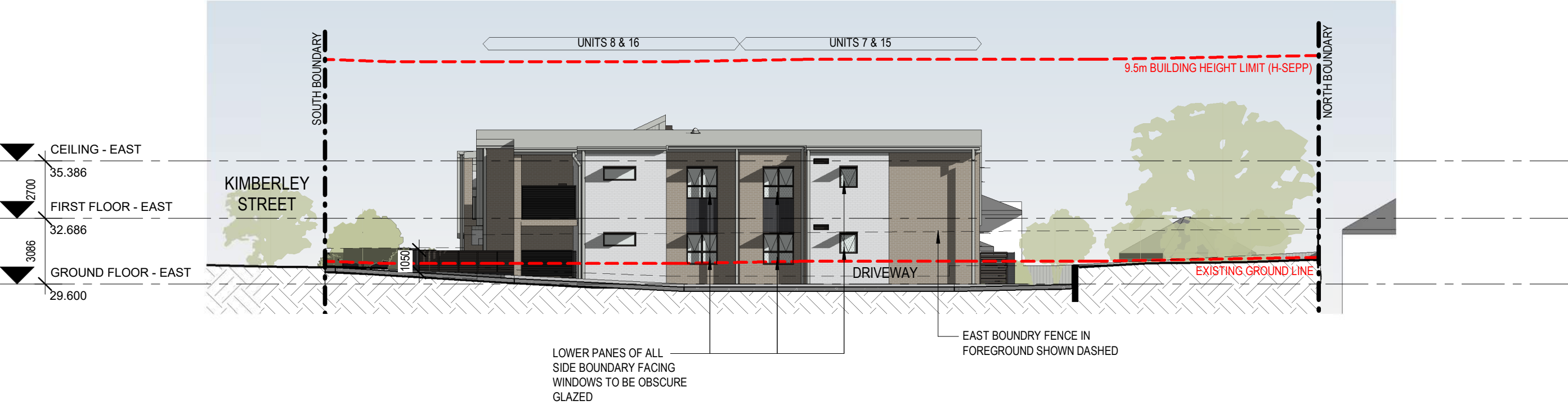
PROJECT
**RESIDENTIAL FLAT DEVELOPMENT UNDER SEPP
(HOUSING) 2021**
17-21 Kimberly Street, Merrylands, NSW LOTS 206, 207, 208 IN DP926

TITLE
NOTIFICATION ELEVATION 1

REV	DATE	PROJECT No.	SHEET
E	18-04-23	BGYF2	N04

20/04/2023 7:21:25 PM

1 November 2023



1 | NOTIFICATION - EAST ELEVATION

SCALE 1 : 200



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ARCHITECT
BREWSTER MURRAY PTY LTD

PROJECT
**RESIDENTIAL FLAT DEVELOPMENT UNDER SEPP
(HOUSING) 2021**

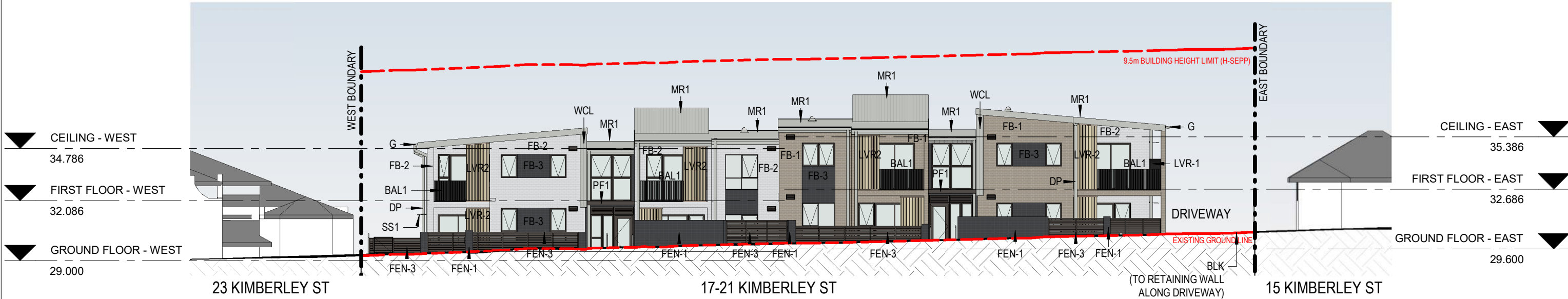
17-21 Kimberly Street, Merrylands, NSW LOTS 206, 207, 208 IN DP926

TITLE
NOTIFICATION ELEVATION 2

REV	DATE	PROJECT No.	SHEET
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[Signature]

1 November 2023



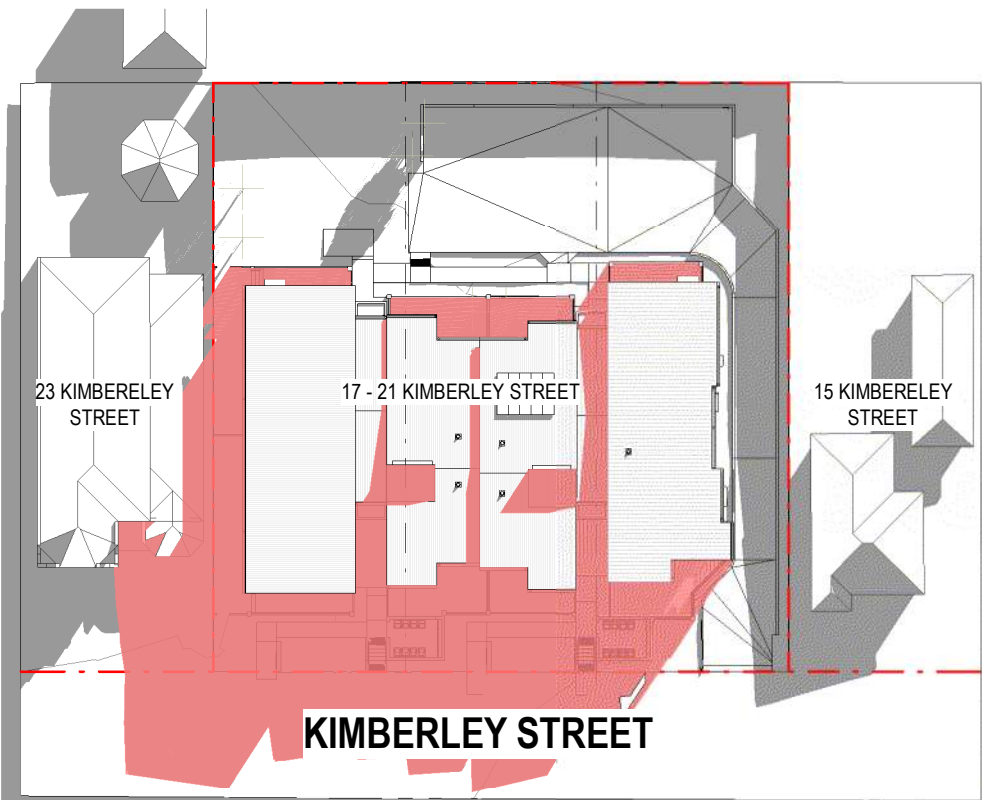
1 | NOTIFICATION - SOUTH ELEVATION (KIMBERLEY ST) FINISHES

SCALE 1 : 200

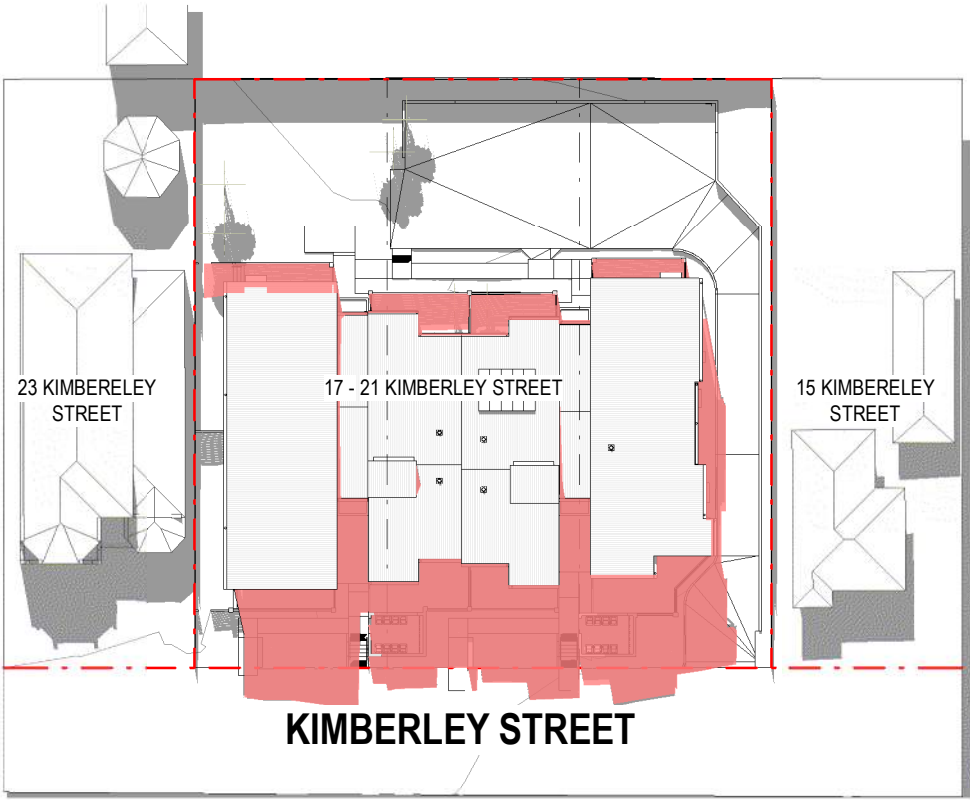
EXTERIOR FINISHES

CODE	MATERIAL	DESCRIPTION	FINISH
FB-1		FACE BRICK	LIGHT BROWN WITH NATURAL VARIATION
FB-2		FACE BRICK	OFF-WHITE
FB-3, FEN-1		FEATURE BRICK, BRICK PIERS, GARBAGE AREA WALLS	DARK GREY
MR1		METAL ROOF	LIGHT GREY
G, DP		GUTTERS, DOWNPIPES	LIGHT GREY
WF, DF, SS1		ALUMINIUM WINDOW FRAMES, DOOR FRAMES, SUN SHADE	DARK GREY
BAL-1, PF1		BALUSTRADES, CONCRETE AWNINGS - PAINT FINISH	DARK GREY

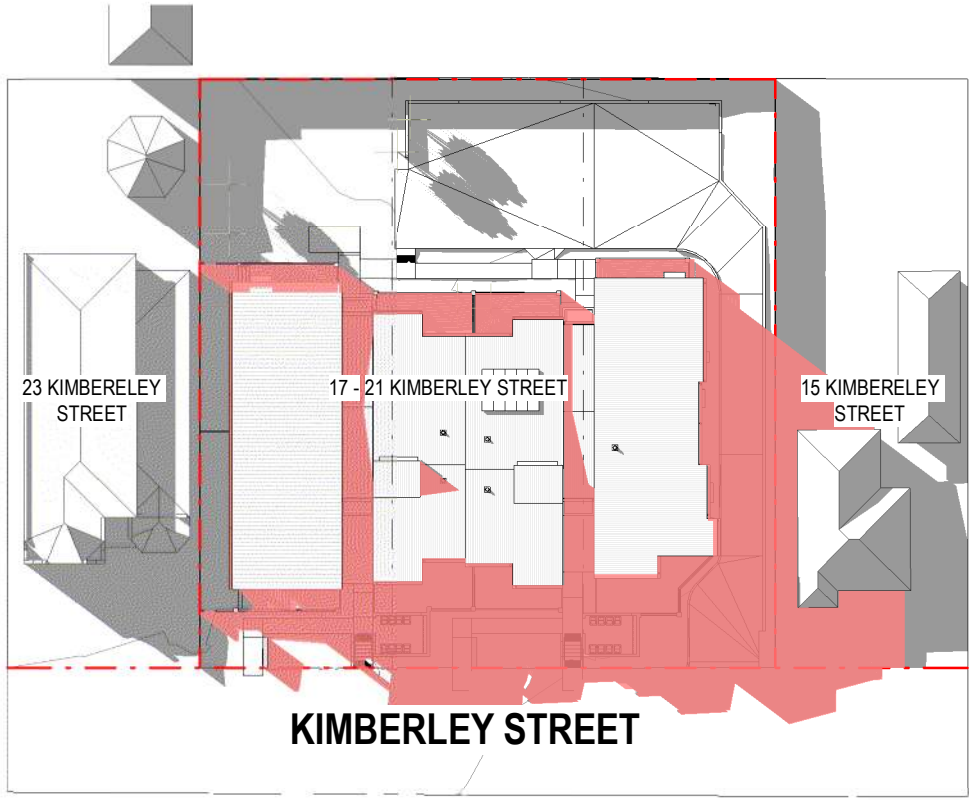
CODE	MATERIAL	DESCRIPTION	FINISH
CONC-1		CONCRETE PATHWAYS	LIGHT GREY CONCRETE
CONC-2		DRIVEWAYS	DARK GREY CONCRETE
FEN-2		METAL FENCING TO BOUNDARIES	LIGHT GREY
FEN-3		SLATTED PRIVACY FENCING	DARK GREY
LVR1		HORIZ PRIVACY LOUVRES	DARK GREY
LVR-2		VERT PRIVACY LOUVRES	WOOD LOOK ALUMINIUM
WCL1		METAL CLADDING	LIGHT GREY
BLK		SPLIT FACE BLOCK RETAINING WALL	DARK GREY



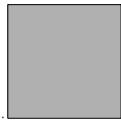
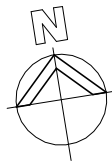
1 | SHADOW IMPACT JUNE 21 9AM
SCALE1 : 600



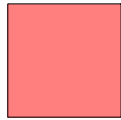
2 | SHADOW IMPACT JUNE 21 12PM
SCALE1 : 600



3 | SHADOW IMPACT JUNE 21 3PM
SCALE1 : 600



GREY AREA INDICATES EXISTING
SHADOWS CAST BY NEIGHBOURING
PROPERTIES



PINK AREA INDICATES SHADOWS CAST
BY PROPOSED DEVELOPMENT